



This is the 2nd Affidavit of Tetsu Takagaki
in this case and was made on September 17, 2025

NO. S-246230
VANCOUVER REGISTRY

IN THE SUPREME COURT OF BRITISH COLUMBIA

BETWEEN:

INTRACORP VANNESS LIMITED PARTNERSHIP

PLAINTIFF

AND:

THE OWNERS, STRATA PLAN LMS992 AND CROWE MACKAY &
COMPANY LTD., AS LIQUIDATOR OF THE OWNERS, STRATA PLAN LMS992

DEFENDANTS

AND:

INTRACORP VANNESS LIMITED PARTNERSHIP

DEFENDANT BY WAY OF COUNTERCLAIM

AFFIDAVIT

I, Tetsu Takagaki, Senior Manager of Crowe Mackay & Company Ltd., care of 1600 – 925 West Georgia Street, in the City of Vancouver, in the Province of British Columbia, SWEAR THAT:

1. I am a Senior Manager employed by Crowe Mackay & Company Ltd. (“**Crowe Mackay**”) and as such have personal knowledge of the facts and matters hereinafter deposed to, save and except where the same are stated to be made upon information and belief, and, as to such facts, I verily believe the same to be true.

2. I have been a senior manager at Crowe Mackay specializing in strata liquidation for over three years. During that period, I have worked with many strata corporations undergoing a wind-up process and sale of the strata lands.

3. Crowe MacKay is the court-confirmed liquidator of The Owners, Strata Plan LMS992, also known as Joyce Place, ("**Joyce Place**"). I am a member of the team at Crowe Mackay with responsibility for the wind-up of Joyce Place.

4. Joyce Place entered into a purchase and sale agreement (the "**PSA**") for the sale of the Joyce Place lands to Intracorp Vanness Limited Partnership ("**Intracorp**") in January 2021. By agreement between the parties, the completion date of the PSA was amended and ultimately agreed to be September 9, 2024 (the "**Completion Date**"). The sale of the Joyce Place lands to Intracorp completed on September 9, 2024 but there remains a dispute over the payment of a purchase price adjustment as part of the purchase price.

The PSA and the Comparable Developments

5. As part of my duties, I reviewed various historical and strata records for Joyce Place. Based on the information available to me from that review, I understand that Joyce Place is located in the Renfrew-Collingwood neighbourhood of Vancouver and consists of 63 strata units: 52 residential units in a 12-storey concrete tower, 8 townhouse units, and 3 commercial strata lots on the street level of the tower.

6. The Joyce Place records I reviewed indicate that construction on Joyce Place was completed in 1993 and that the tower includes an underground parking lot.

7. In collecting the evidence contained in this Affidavit, I reviewed the City of Vancouver's (the "**City**") webpage containing information about the City's comprehensive development district ("**CD-1**") by-laws. Based on that webpage, I understand that the City passes individual zoning bylaws for each area or property zoned as CD-1 to reflect use of that property, and that the current zoning information is consolidated on the City's digital zoning map (the "**Zoning Map**").

8. Attached hereto and marked as **Exhibit “A”** to this Affidavit is a true copy of the City’s CD-1 bylaw information webpage.

9. I am advised by Jordan Hayward, a lawyer employed with Lawson Lundell LLP, counsel for Crowe Mackay, and verily believe, that he obtained from the City’s historical zoning records office the CD-1 zoning by-law of Joyce Place effective December 1987 to May 2024. Attached hereto and marked as **Exhibit “B”** to this Affidavit is a true copy By-law No. 6272, reflecting the zoning for Joyce Place effective as of January 8, 2023, retrieved from the City on July 16, 2025.

10. The PSA contains a mechanism for calculating an adjustment to the purchase price (the “**PPA**”) payable by Intracorp to Joyce Place in the event that the assessed value of strata lots in developments comparable to Joyce Place increased by 4% or more between January 1, 2021 and January 9, 2023.

11. Schedule G of the PSA identifies six strata developments in Vancouver as “**Comparable Developments**” to be used in calculating any PPA as follows:

- (a) Regent Court (Strata Plan LMS 1558), located at 3489 Ascot Place;
- (b) Nexus (Strata Plan BCS 404), located at 3588 Crowley Drive;
- (c) Wall Central Park (Strata Plan EPS3434), located at 5515 Boundary Road;
- (d) Skyway Tower (Strata Plan EPS2285), located at 2689 Kingsway;
- (e) Centro (Strata Plan LMS 3463), located at 3438 Vanness Avenue; and
- (f) Circa (Strata Plan BCS 2012), located at 3660 Vanness Avenue.

12. The information set out below in my affidavit about the Comparable Developments is based on online research I conducted on the nature of each of the Comparable Developments from data available on the Land Title and Survey Authority of British Columbia (the “**LSTA**”) webpage. Specifically, I reviewed the strata plan and/or schedule of unit entitlement filed in the Land Title Office for each Comparable Development. I also reviewed the

City's zoning records for the Comparable Developments obtained from the Zoning Map. I verily believe this information to be true.

A. Regent Court – 3489 Ascot Place, Vancouver, B.C. (Strata Plan LMS 1558)

13. I viewed Regent Court's strata plan which I obtained from the LTSA webpage. Based on that strata plan, it appears to me that Regent Court is a 14-story concrete strata tower located in the Renfrew-Collingwood neighbourhood. It also appears that Regent Court is comprised of 140 strata units and includes an underground parking lot.

14. Attached hereto and marked as **Exhibit "C"** to this Affidavit is a true copy of Regent Court's strata plan, Strata Plan LMS 1558, retrieved August 28, 2025.

15. I searched the Zoning Map for Regent Court and found that it is zoned as CD-1 (222) by By-law No. 6325. Attached hereto and marked as **Exhibit "D"** to this Affidavit is a true copy of By-law No. 6325, reflecting the current zoning for Regent Court, retrieved from the Zoning Map on July 24, 2025.

B. Nexus – 3588 Crowley Drive, Vancouver, B.C. (Strata Plan BCS 404)

16. I viewed the strata plan and schedule of unit entitlement for Nexus which I obtained from the LTSA webpage. Based on the information available to me, it appears that Nexus is a 19-story concrete strata tower with a six-story strata structure connected to the tower. It also appears that Nexus is comprised of 181 strata units and includes an underground parking lot.

17. Attached hereto and marked as **Exhibit "E"** to this Affidavit is a true copy of Nexus' strata plan, Strata Plan BCS 404, retrieved August 28, 2025.

18. Attached hereto and marked as **Exhibit "F"** to this Affidavit is a true copy of Nexus' schedule of unit entitlement, retrieved August 28, 2025.

19. I searched the Zoning Map for Nexus and found that it is zoned as CD-1 (314) under City Bylaw No. 7204. Attached hereto and marked as **Exhibit "G"** to this Affidavit is a

true copy of By-law No. 7204, reflecting the current zoning for Nexus, retrieved from the Zoning Map on July 24, 2025.

C. Wall Central Park – 5515 Boundary Road, Vancouver, B.C. (Strata Plan EPS3434)

20. I viewed the strata plan and schedule of unit entitlement for Wall Centre Park which I obtained from the LTSA webpage. Based on the information available to me, it appears that Wall Central Park is the south tower of a two-tower strata development located in the Renfrew-Collingwood neighbourhood, and that it is a 36-story tower. It also appears that Wall Central Park is comprised of 623 strata units and includes an underground parking lot.

21. Attached hereto and marked as **Exhibit “H”** to this Affidavit is a true copy of Wall Central Park’s strata plan, Strata Plan EPS3434, retrieved August 28, 2025.

22. Attached hereto and marked as **Exhibit “I”** to this Affidavit is a true copy of Wall Central Park’s schedule of unit entitlement, retrieved August 28, 2025.

23. I searched the Zoning Map for Wall Central Park and found that it is zoned as CD-1 (545) by By-law No. 10676. Attached hereto and marked as **Exhibit “J”** to this Affidavit is a true copy of By-law No. 10676, reflecting the current zoning for Wall Centre Park, retrieved from the Zoning Map on July 24, 2025.

D. Skyway Tower – 2689 Kingsway, Vancouver, B.C. (Strata Plan EPS2285)

24. I viewed the strata plan and schedules of unit entitlement for Skyway Tower which I obtained from the LTSA webpage. Based on the information available to me, it appears that Skyway Tower is a 12-story mixed-use tower located in the Renfrew-Collingwood neighbourhood. It also appears that Skyway Tower is comprised of 139 strata units with commercial space located on the ground level.

25. Attached hereto and marked as **Exhibit “K”** to this Affidavit is a true copy of Skyway Tower’s strata plan, Strata Plan EPS2285, retrieved August 28, 2025.

26. Attached hereto and marked as **Exhibit “L”** to this Affidavit are true copies of Skyway Tower’s schedules of unit entitlement, retrieved August 28, 2025.

27. I viewed the City's digital zoning map for Skyway Tower and found that it is zoned as CD-1 (529) by By-law No. 10472. Attached hereto and marked as **Exhibit "M"** to this Affidavit is a true copy of By-law No. 10472, reflecting the current zoning for Skyway Tower, retrieved from the City's digital zoning map on July 24, 2025.

E. Centro – 3438 Vanness Avenue, Vancouver, B.C. (Strata Plan LMS3463)

28. I viewed Centro's strata plan which I obtained from the LTSA webpage. Based on that strata plan, it appears to me that Centro is a 17-story mixed-use tower located in the Renfrew-Collingwood neighbourhood. It also appears that Centro is comprised of 148 strata units with commercial space on the ground level, and portions of the second, third and fourth levels.

29. Attached hereto and marked as **Exhibit "N"** to this Affidavit is a true copy of Centro's strata plan, Strata Plan LMS 3463, retrieved August 28, 2025.

30. I searched the Zoning Map for Centro and found that it is zoned as CD-1 (352) by By-law No. 7639. Attached hereto and marked as **Exhibit "O"** to this Affidavit is a true copy of By-law No. 7639, reflecting the current zoning for Centro, retrieved from the Zoning Map on July 24, 2025.

F. Circa – 3660 Vanness Avenue, Vancouver, B.C. (Strata Plan BCS 2012)

31. I viewed the strata plan and schedule of unit entitlement for Circa which I obtained from the LTSA webpage. Based on the information available to me, it appears that Circa is a 22-story concrete strata tower with a four-story strata structure connected to the tower. It also appears that Circa is comprised of 205 strata units and includes an underground parking lot.

32. Attached hereto and marked as **Exhibit "P"** to this Affidavit is a true copy of Circa's strata plan, Strata Plan BCS 2012, retrieved August 28, 2025.

33. Attached hereto and marked as **Exhibit "Q"** to this Affidavit is a true copy of Circa's schedules of unit entitlement, retrieved August 28, 2025.

34. I searched the Zoning Map for Circa and found that it is zoned as CD-1 (314) by By-law No. 7204. Attached hereto and marked as **Exhibit "R"** to this Affidavit is a true copy of By-law No. 7204, reflecting the current zoning for Circa, retrieved from the Zoning Map on July 24, 2025.

SWORN BEFORE ME at Vancouver, British
Columbia on September 17, 2025.




A Commissioner for taking Affidavits for
British Columbia.

TETSU TAKAGAKI

Alexa Wills

Articled Student
1600 - 925 WEST GEORGIA ST.
VANCOUVER, B.C. V6C 3L2
(604) 685-3456

This is Exhibit "A" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025



A Commissioner for taking Affidavits within British Columbia.

 VANCOUVER.CA

Comprehensive development district by-laws

CD-1 by-laws

A separate CD-1 (comprehensive development district) by-law specifically made for the intended form of development exists for each area or site zoned CD-1.

Find CD-1 by-laws, below, by searching a location on a map or the by-law number.

After locating a CD-1 by-law, check for other relevant City documents and policies. Find:

- **Guidelines for CD-1 districts** by their address in the [zoning and land use document library](#).
- **Parking, loading, and bicycle space requirements** in the Parking By-law by searching for the CD-1 by-law number in [Schedule C of the Parking By-law \(PDF, 345 KB\)](#) if no guidelines are listed in the CD-1 by-law. If the CD-1 by-law is not listed in Schedule C, review requirements in [Sections 4 to 7](#) of the Parking By-law.
- **Housing agreements** associated with CD-1 by-laws by searching the address of the by-law as a keyword on "[find a by-law](#)". Relevant results will appear in the Zoning and Development By-law report.

Learn more: Review [rezoning](#) or email rezoning@vancouver.ca.

- ① CD-1 by-laws will not appear on the list below until they are enacted by City Council.
- ② The following CD-1 by-laws are in PDF format.

Use the digital zoning map to find a CD-1 by-law

[Find a CD-1 by-law by location](#)

Find a CD-1 by-law by number:

[001-025](#) | [026-050](#) | [051-075](#) | [076-100](#) | [101-125](#) | [126-150](#) | [151-175](#) | [176-200](#) | [201-225](#) | [226-250](#) | [251-275](#) | [276-300](#) | [301-325](#) | [326-350](#) | [351-375](#) | [376-400](#) | [401-425](#) | [426-450](#) | [451-475](#) | [476-500](#) | [501-525](#) | [526-550](#) | [551-575](#) | [576-600](#) | [601-625](#) | [626-650](#) | [651-675](#) | [676-700](#) | [701-725](#) | [726-750](#) | [751-775](#) | [776-800](#) | [801-825](#) | [826-850](#) | [851-875](#) | [876-900](#)

001-025	back to top
(1) 650 West 41st Avenue (Oakridge Centre)	[backup notes]
(2) 805-1089 East 52nd Avenue	[by-law and backup notes]
(3A) 2218-2256 East 41st Ave., 5826-5980 Nanaimo St., 5706-5996 Stirling St.	[by-law and backup notes]
(3B) Exhibition Park	[by-law and backup notes]



City of Vancouver *Zoning and Development By-law*

Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 873.7060
 planning@city.vancouver.bc.ca

CD-1 (201)

3352-3386 Vanness Avenue **By-law No. 6272**

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective December 15, 1987

(Amended up to and including By-law No. 8169, dated March 14, 2000)

Guidelines:

Joyce Station Area

Guidelines for Sites A & B

This is Exhibit "B" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

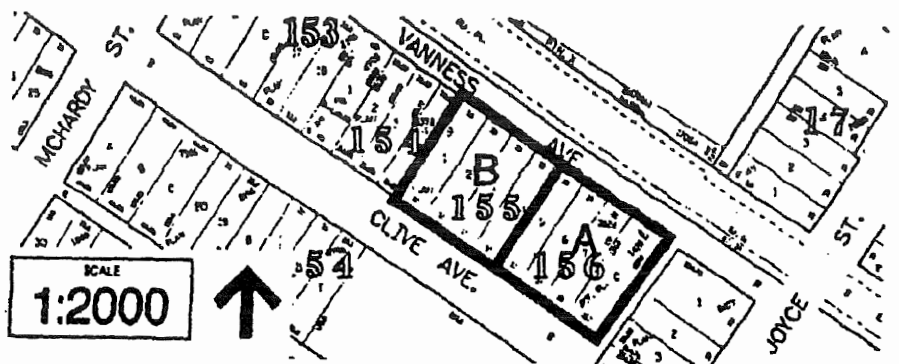
A Commissioner for taking Affidavits
 within British Columbia.

1 [Section 1 is not reprinted here. it contains a standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1]

2 The area shown included within the heavy black outline on Schedule "A" is rezoned to CD- 1, and the only uses permitted within the said area, subject to such conditions as Council may by resolution prescribe, including design guidelines, and the only uses for which development permits will be issued are:

- (a) in that portion of the area comprising Lots 5, 6, 7 and C. hereinafter referred to as Site "A", as shown on Diagram below:
 - One-family dwelling, subject to the RS-1 District Schedule regulations;
 - Multiple dwelling, including recreation and common facilities;
 - Accessory uses customarily ancillary to the foregoing;
 - Convenience commercial retail (which means any retail store, business, retail-type service activity or restaurant, but not including a drive-in, which caters primarily to local pedestrian traffic, provided that such use shall not include the sale or rent of sex-oriented products), when substituted for residential floor area pursuant to clause (b) of section 3.1 below.
- (b) in that portion of the area comprising Lots 1, 2, 3 and 4, hereinafter referred to as Site B, as shown on Diagram 1 below:
 - one-family dwelling, subject to the RS-1 District Schedule regulations;
 - Multiple dwelling, including recreation and common facilities;
 - Accessory uses customarily ancillary to the foregoing.

Diagram 1



3 Floor Space Ratio

3.1 The maximum floor space ratio for multiple dwellings, calculated in accordance with the RM-3 District Schedule, shall be 0.65, except that:

- (a) this amount may be increased by 0.10 for each floor of residential accommodation above the fourth floor, to a maximum of 1.45;
- (b) for Site A only, for any building with a floor space ratio greater than 1.0, a maximum of 0.20 floor space ratio of convenience commercial retail may be substituted for an equal amount of residential floor area, subject to the commercial floor area being located at the ground floor and oriented towards Vanness Avenue; and

Note: Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 6272 or provides an explanatory note.

- (c) the following shall also be excluded from the floor space ratio calculation:
- (i) enclosed balconies and other features designed to reduce transit noise, provided the Director of Planning first approves the design of any such feature, and provided further that the total area of all exclusions does not exceed eight percent of the permitted floor area;
 - (ii) the following ancillary amenity facilities for the social and recreational enjoyment of the residents provided that the area of such excluded facilities does not exceed 20 percent of the allowable floor space;
 - saunas;
 - tennis courts;
 - swimming pools;
 - squash or racquetball courts;
 - gymnasium and workout rooms;
 - games and hobby rooms;
 - other related indoor uses of a social or recreational nature which in the opinion of the Director of Planning are similar to the above; and
 - (iii) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

3.2 The maximum floor space ratio, calculated in accordance with the RS- 1 District Schedule, for all other uses shall be 0.60.

4 Height

The maximum building height measured above the base surface shall be 35.5 m (120 ft.), except that within 18.3 m (60 ft.) of the boundary of the site abutting Clive Avenue the maximum building height shall be 9.15 m (30 ft.).

5 Setbacks

The following setbacks shall be provided:

- (a) from the site boundary abutting Vanness Avenue - a minimum of 1.524 m (5.0 ft.) and a maximum of 4.6 m (15 ft.);
- (b) from the site boundary abutting Clive Avenue - a minimum of 6.1 m (20 ft.);
- (c) from all other site boundaries - a minimum of 2.134 m (7 ft.) but increased so that the outer walls of the building are contained within a 135 degree angle extended horizontally and measure inwardly from any and all points on this side property line, provided however that the Director of Planning may relax the setback or require no setback from the boundary between Sites A and B where he is satisfied that such relaxation allows for improved building design.

6 Acoustics

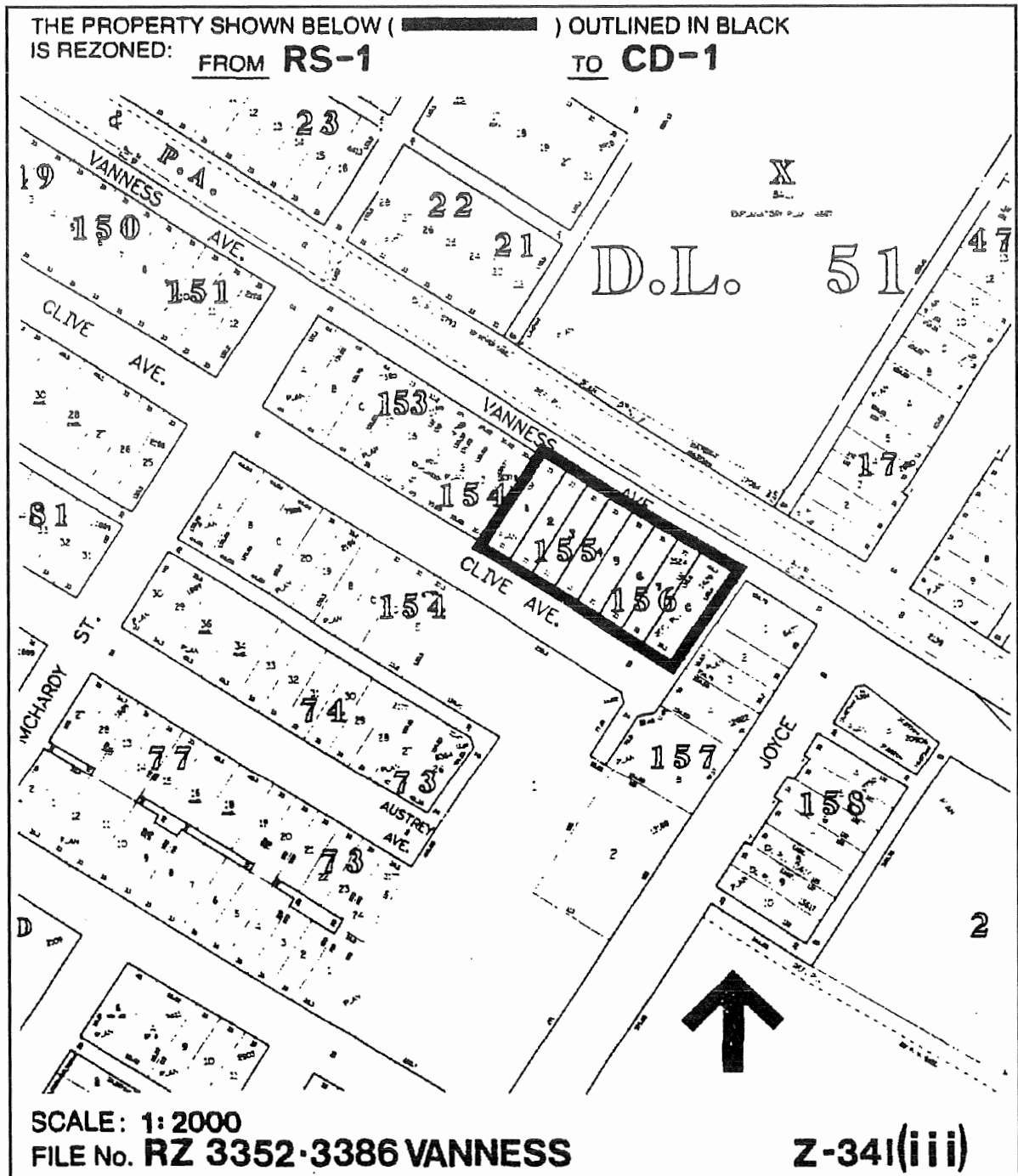
All development permit applications shall require evidence in the form of a report prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise levels set opposite such portions. For the purposes of this section the "noise level" is the A-weighted 24-hour equivalent (Leq) sound level expressed in decibels.

Portions Of Dwelling Units	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45
[75 15; 96 01 11]	

7 Off-street Parking

- 7.1** Off-street parking shall be provided, developed and maintained in accordance with the provisions of the Parking By-law except as follows:
- (a) for multiple dwellings - no less than the greater of 1 space per 70 m² (750 sq. ft.) or 1 space per unit shall be provided;
 - (b) for units designated solely for families of low income under the provisions of the National Housing Act - a minimum of 1 space for every dwelling unit shall be provided;
 - (c) for commercial uses - spaces shall be located in such a manner as to ensure the privacy of residential units.
- 7.2** A minimum of 90% of the off-street parking spaces required for multiple dwellings, except for senior citizens' housing, shall be provided underground.
- 8 Vehicular Access**
Vehicular access shall be provided to Site A from Vanness Avenue or from the lane west of Joyce Street and to Site B from Vanness Avenue. Where both Sites A and B are developed as a single site, vehicular access shall be taken from either Vanness Avenue or the lane west of Joyce Street.
- 9 Off-street Loading**
Off-street loading shall be provided, developed and maintained in accordance with the provisions of the Parking By-law except that all such spaces shall be located adjacent to either Vanness Avenue or the lane joining Clive Avenue with Vanness Avenue.
- 10** *[Section 10 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signatures to pass the by-law and to certify the by-law number and date of enactment.]*

By-law No. 6272 being a by-law to amend By-law No. 3575 being the Zoning and Development By-law



This is Exhibit "C" referred to in the affidavit of Tetsu Takagaki made before me at Vancouver B.C., on September 17, 2025.

A Commissioner for taking Affidavits within British Columbia

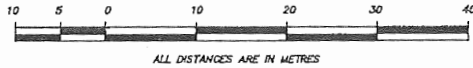
SHEET 1 OF 28 SHEETS

STRATA PLAN OF LOT 4 BLOCK X DISTRICT LOT 51 PLAN LMP 5831

STRATA PLAN LMS 1558

B.C.G.S. 92G.025

SCALE 1 : 500



CITY OF VANCOUVER

THIS PLAN LIES WITHIN
THE GREATER VANCOUVER
REGIONAL DISTRICT

V 2065

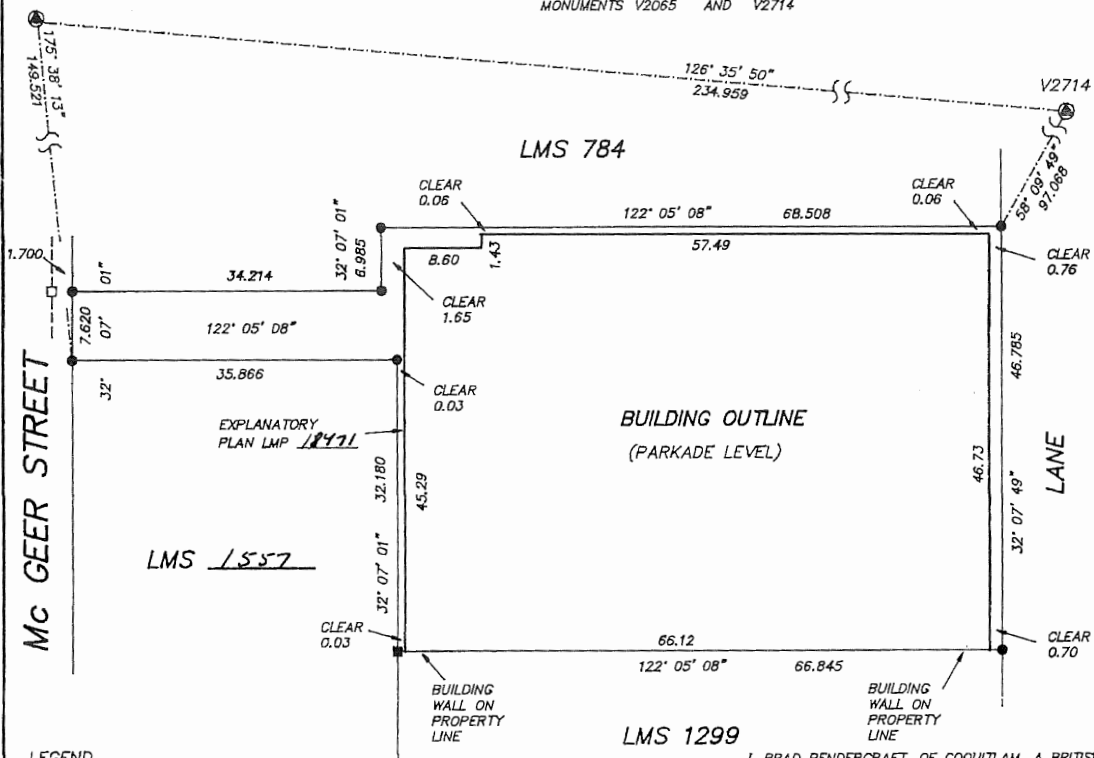
INTEGRATED AREA No. 31 VANCOUVER

THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES,
PRIOR TO COMPUTATION OF U.T.M. COORDINATES MULTIPLY
BY COMBINED FACTOR OF 0.9995899737

BEARINGS ARE GRID BEARINGS DERIVED FROM
MONUMENTS V2065 AND V2714

DEPOSITED AND REGISTERED IN THE LAND TITLE
OFFICE AT NEW WESTMINSTER, B.C.
THIS 23 DAY OF AUG, 1994.

ASSISTANT REGISTRAR
DEPUTY



LEGEND

- L.C.P. DENOTES LIMITED COMMON PROPERTY
 (C) DENOTES COMMON PROPERTY
 (E) DENOTES ELEVATOR
 S.L. DENOTES STRATA LOT
 m² DENOTES SQUARE METRES
 sqft DENOTES SQUARE FEET
 (D) DENOTES DECK, L.C.P. APPURTENANT TO ADJACENT STRATA LOT
 (P) DENOTES PATIO, L.C.P. APPURTENANT TO ADJACENT STRATA LOT
 (B) DENOTES BALCONY, L.C.P. APPURTENANT TO ADJACENT STRATA LOT
 (A) DENOTES CONTROL MONUMENT FOUND
 ● DENOTES STANDARD IRON POST FOUND
 ■ DENOTES OLD LEAD PLUG FOUND
 □ DENOTES LEAD PLUG SET
 WT DENOTES WITNESS

NOTE:

ALL PARKING STALLS AND STORAGE LOCKERS SHOWN ON SHEETS 6-9, AND SHEETS 24-26 ARE COMMON PROPERTY. ALL AREAS LABELED EITHER VENT, TEL, ELEG, OR ROOF ON SHEETS 10-23 ARE COMMON PROPERTY.

For Strata Corp Mail Address
See Strata Pl. General Index.

THE ADDRESS FOR SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:
THE OWNERS, STRATA PLAN LMS 1558
9th FLOOR 1190 HORNBY STREET,
VANCOUVER, B.C. V6Z 2K5

CIVIC ADDRESS OF PROPERTY:
3489 ASCOT PLACE,
VANCOUVER, B.C.

I, BRAD PENDERGRAFT, OF COQUITLAM, A BRITISH COLUMBIA LAND SURVEYOR, HEREBY CERTIFY THAT THE BUILDING ERECTED ON THE PARCEL DESCRIBED ABOVE IS WHOLLY WITHIN THE EXTERNAL BOUNDARIES OF THAT PARCEL.
DATED 26th DAY OF JULY, 1994

B.C.L.S.

I, BRAD PENDERGRAFT, OF COQUITLAM, A BRITISH COLUMBIA LAND SURVEYOR, HEREBY CERTIFY THAT THE BUILDING SHOWN IN THIS STRATA PLAN HAS NOT AS OF THE 26th DAY OF JULY, 1994 BEEN PREVIOUSLY OCCUPIED.
DATED 26th DAY OF JULY, 1994

B.C.L.S.

SOLRUP LAND SURVEYING INC.
201 - 8484 162nd STREET
SURREY, B.C. V4N 1B4
TEL 597 6161 FAX 597 0259
FILE: 2608H1

SECOND SHEET, SHEET 2 OF 28 SHEETS

CONDOMINIUM ACTSTRATA PLAN LMS 1558

LOT NO.	SHEET NO.	FORM 1	FORM 2	FORM 3
		SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
		UNIT ENTITLEMENT (AREA)	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
1	10	741	749850	1
2	10	467	562388	1
3	10	625	659868	1
4	10	708	747351	1
5	10	621	657369	1
6	10	498	544891	1
7	10	498	544891	1
8	10	498	544891	1
9	10	735	739852	1
10	11	757	762348	1
11	11	480	569886	1
12	11	625	682364	1
13	11	546	637373	1
14	11	708	759848	1
15	11	621	667367	1
16	11	498	557389	1
17	11	498	557389	1
18	11	498	557389	1
19	11	743	752350	1
20	11	718	717357	1
21	12	757	774845	1
22	12	480	577385	1
23	12	625	689862	1
24	12	546	644871	1
25	12	708	772346	1
26	12	621	677365	1
27	12	498	569886	1
28	12	498	569886	1
29	12	498	569886	1
30	12	743	764847	1
31	12	718	727355	1
32	13	757	787343	1
33	13	480	584883	1
34	13	625	699860	1
35	13	546	652370	1
36	13	708	784843	1
37	13	621	687363	1
38	13	498	577385	1
39	13	498	577385	1
40	13	498	577385	1
41	13	743	777345	1
42	13	718	737353	1
43	14	711	752350	1
44	14	480	592382	1
45	14	625	712358	1
46	14	546	662368	1
47	14	708	799840	1
48	14	621	699860	1
49	14	498	587383	1
50	14	498	587383	1
51	14	498	587383	1
52	14	697	737353	1
53	14	718	747351	1
54	15	711	767347	1
55	15	480	609878	1
56	15	625	724855	1
57	15	546	672366	1
58	15	708	814837	1
59	15	621	712358	1
60	15	498	597381	1
61	15	498	597381	1

DATED 21st DAY OF
JUNE 1991
B.C.L.S.
FILE 1608H2

SECOND SHEET, SHEET 3 OF 28 SHEETS

CONDOMINIUM ACTSTRATA PLAN LMS 1558

LOT NO.	SHEET NO.	FORM 1	FORM 2	FORM 3
		SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
		UNIT ENTITLEMENT (AREA)	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
62	15	498	597381	1
63	15	697	752350	1
64	15	718	759848	1
65	16	711	782344	1
66	16	480	619876	1
67	16	625	737353	1
68	16	546	682364	1
69	16	708	832334	1
70	16	621	727355	1
71	16	498	607379	1
72	16	498	607379	1
73	16	498	607379	1
74	16	697	767347	1
75	16	718	772346	1
76	17	711	797341	1
77	17	480	629874	1
78	17	625	749850	1
79	17	546	692362	1
80	17	708	849830	1
81	17	621	742352	1
82	17	498	617377	1
83	17	498	617377	1
84	17	498	617377	1
85	17	697	782344	1
86	17	718	784843	1
87	18	711	812338	1
88	18	480	639872	1
89	18	625	762348	1
90	18	546	702360	1
91	18	708	867327	1
92	18	621	757349	1
93	18	498	627375	1
94	18	498	627375	1
95	18	498	627375	1
96	18	697	797341	1
97	18	718	797341	1
98	19	711	827335	1
99	19	480	649870	1
100	19	625	774845	1
101	19	546	712358	1
102	19	708	884823	1
103	19	621	772346	1
104	19	498	637373	1
105	19	498	637373	1
106	19	498	637373	1
107	19	697	812338	1
108	19	718	809838	1
109	20	711	842332	1
110	20	480	659868	1
111	20	625	787343	1
112	20	546	722356	1
113	20	708	902320	1
114	20	621	787343	1
115	20	498	647371	1
116	20	498	647371	1
117	20	498	647371	1
118	20	697	827335	1
119	20	718	822336	1
120	21	711	859828	1
121	21	480	674865	1
122	21	625	802340	1

DATED 2008 21 DAY OF
 APR 2008
 B.C.L.S.
 FILE 2608H3

CONDOMINIUM ACTSTRATA PLAN LMS 1558

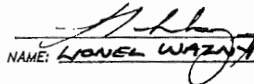
LOT NO.	SHEET NO.	FORM 1	FORM 2	FORM 3
		SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
		UNIT ENTITLEMENT (AREA)	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
123	21	744	974805	1
124	21	720	924815	1
125	21	498	659868	1
126	21	498	659868	1
127	21	697	844831	1
128	21	651	822336	1
129	22	558	747351	1
130	22	480	689862	1
131	22	835	1069796	1
132	22	713	899820	1
133	22	498	672366	1
134	22	548	732354	1
135	22	651	822336	1
136	23	551	759848	1
137	23	743	964807	1
138	23	711	917317	1
139	23	548	744851	1
140	23	651	837333	1
AGGREGATE		84778	100000042	140

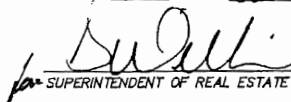
STATUTORY DECLARATIONI / ~~WE~~ THE UNDERSIGNED DO SOLEMNLY DECLARE THAT[1] I / ~~WE~~ THE UNDERSIGNED AM / ARE THE OWNER - DEVELOPER OR (IN THE ALTERNATE)
THE DULY AUTHORIZED AGENT OF THE OWNER - DEVELOPER,

[2] THE STRATA PLAN IS ENTIRELY FOR RESIDENTIAL USE.

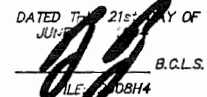
I / ~~WE~~ MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND
KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.DECLARED BEFORE ME AT Vancouver


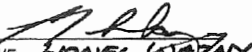
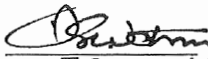
IN THE PROVINCE OF BRITISH COLUMBIA

THIS 11 DAY OF August, 1994


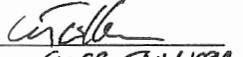
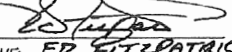
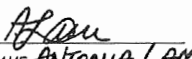
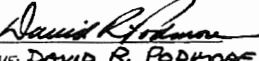
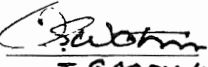
NAME: LIONEL WATSON
A COMMISSIONER FOR TAKING AFFIDAVITS
WITHIN THE PROVINCE OF BRITISH COLUMBIAJ GARRY WATSONACCEPTED AS TO FORMS 1,2 AND 3
DATED THIS 18 DAY OF Aug, 1994.


for SUPERINTENDENT OF REAL ESTATE

DATED THIS 21st DAY OF
JULY

B.C.L.S.
FILE # 008H4

CONDOMINIUM ACTSTRATA PLAN LMS 1558OWNER380883 B.C. LTD.
(INCORPORATION NO. 380883)
34/1/15 AUTHORIZED SIGNATORY
NAME: DAVID R. PODMORE
NAME: LIONEL WAZANYWITNESS
NAME: J. GARRY WATSON
2317 BOULDER RIDGE
WHISTLER, B.C.

ADDRESS OF WITNESS

LAWYER
OCCUPATION OF WITNESSMORTGAGEE:LAURENTIAN BANK OF CANADA
37/1/15 AUTHORIZED SIGNATORY
NAME: CLIFF TALLY
NAME: ED FITZPATRICKWITNESS
NAME: ANTONIA LAM
825 W. PENDER ST., VANCOUVER, B.C.
ADDRESS OF WITNESSADMINISTRATOR
OCCUPATION OF WITNESSLESSEE431691 BRITISH COLUMBIA LTD.
(INCORPORATION NO. 431691)
34/1/15 AUTHORIZED SIGNATORY
NAME: DAVID R. PODMORE
NAME: LIONEL WAZANYWITNESS
NAME: J. GARRY WATSON
2317 BOULDER RIDGE
WHISTLER, B.C.

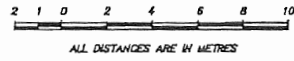
ADDRESS OF WITNESS

LAWYER
OCCUPATION OF WITNESSDATED 27 DAY OF SEP
2015 B.C.L.S.
F. 3808H5

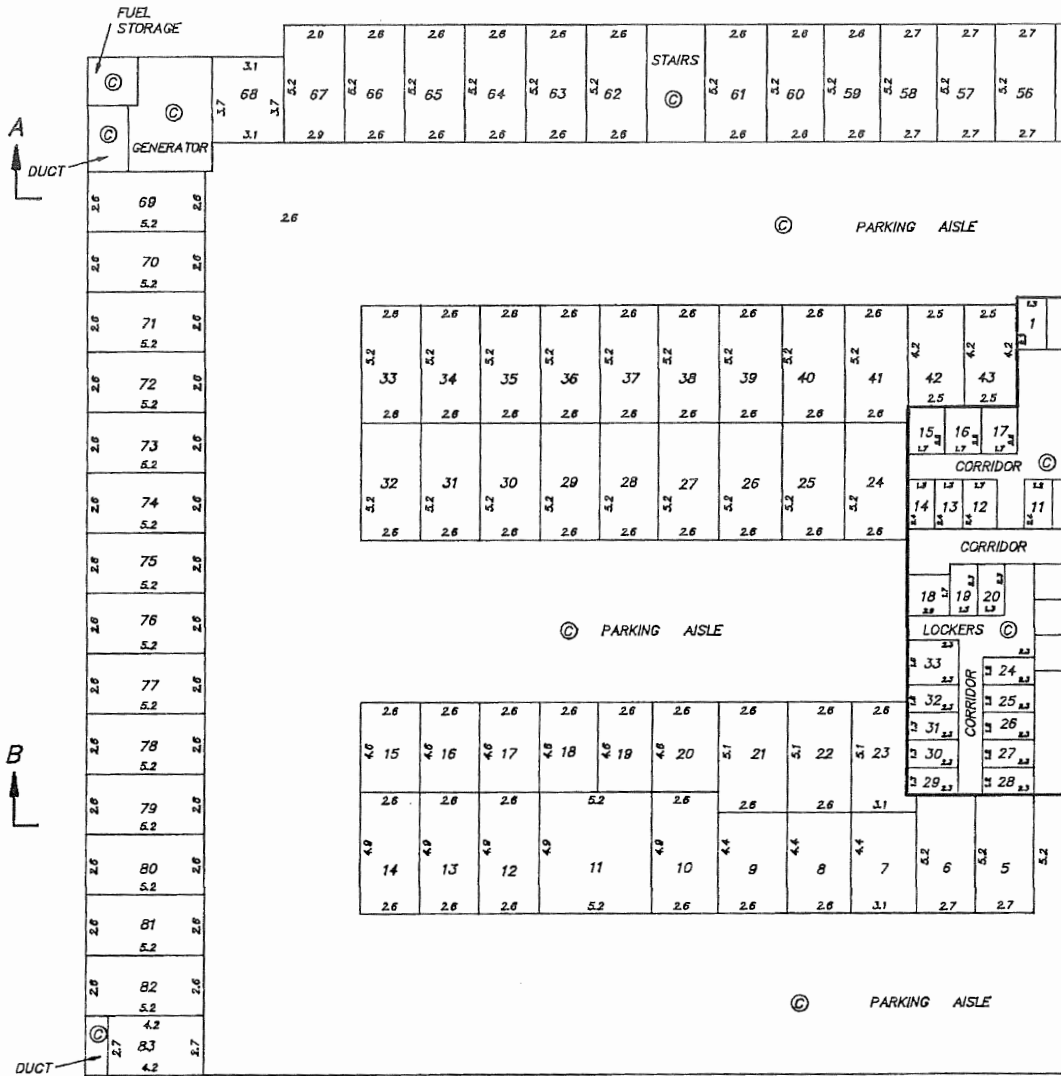
PARKING LEVEL P1 (WEST) FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



MATCHLINE



DATED 20 JUL 2014 OF
B.C.L.S.
FILE: 2588H6

SHEET 7 OF 28 SHEETS

PARKING LEVEL P1 (EAST) FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



MATCHLINE

C'

A'

B'

C

MATCHLINE



DATED 21st OF JULY 2025
B.C.L.S.
FILE: 155847

SHEET 8 OF 28 SHEETS

PARKING LEVEL P2 (WEST) FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



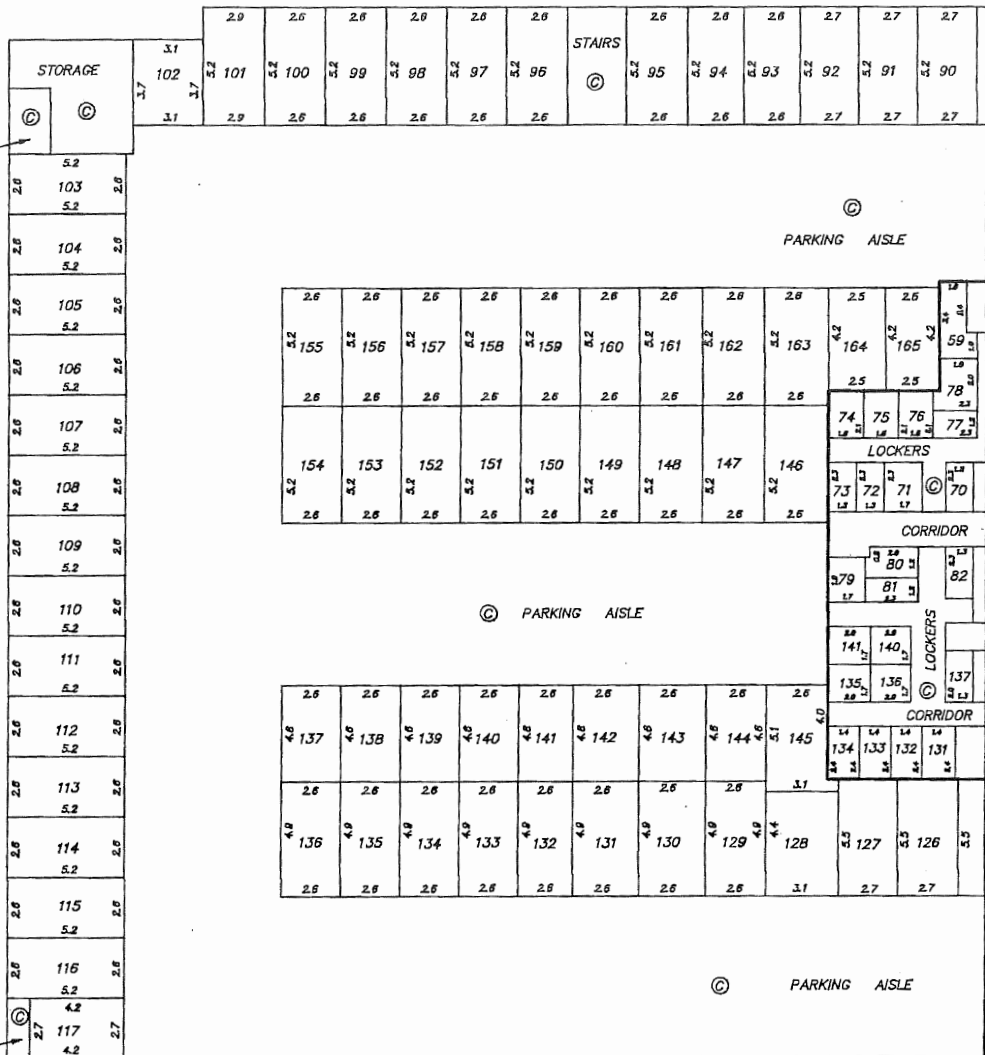
MATCHLINE

A

DUCT

B

DUCT

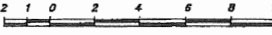
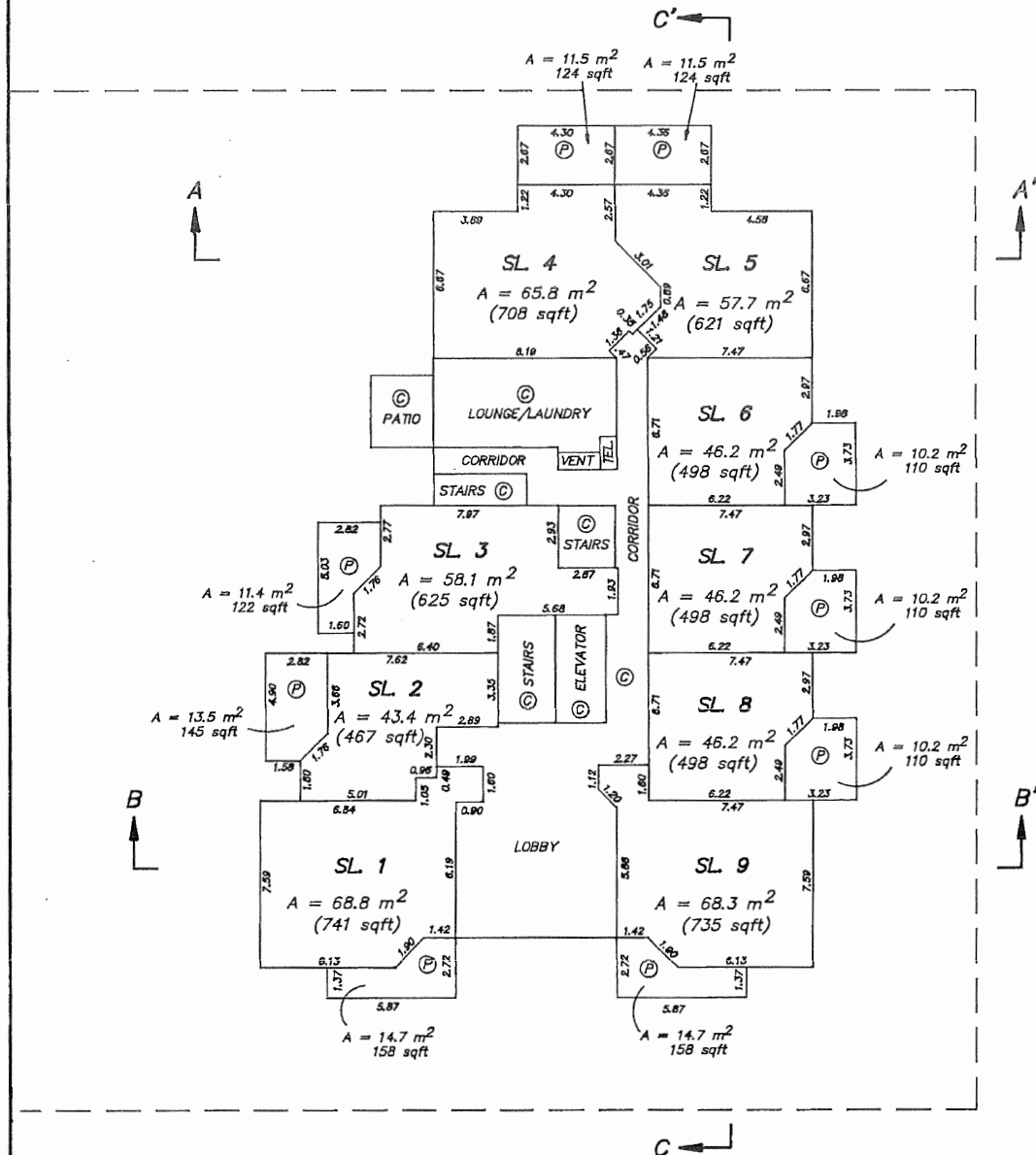


DATED 21st MAY OF 1998
BY [Signature] B.C.L.S.
FILE: 1558B

GROUND FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200

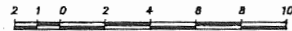

 ALL DISTANCES ARE IN METRES


DATED 21ST DAY OF
 2025
 B.C.L.S.
 FILE # 60BH10

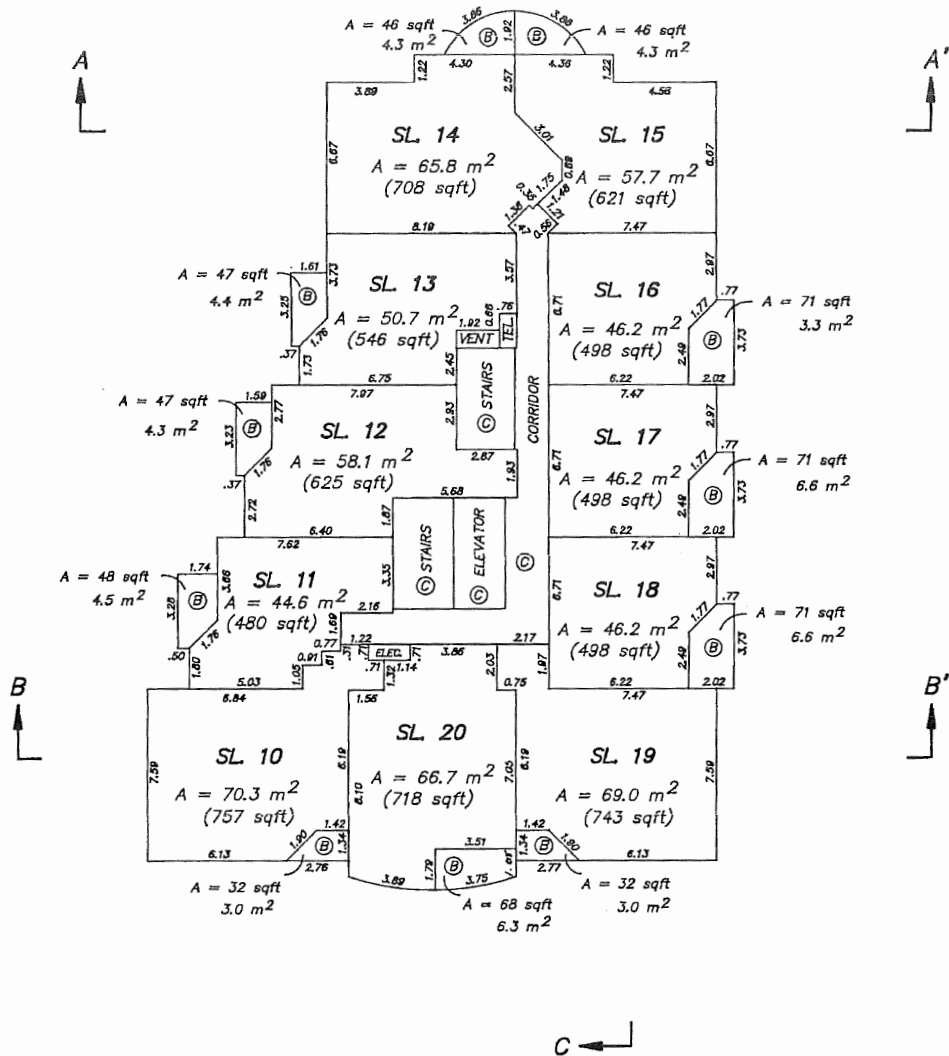
SECOND FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



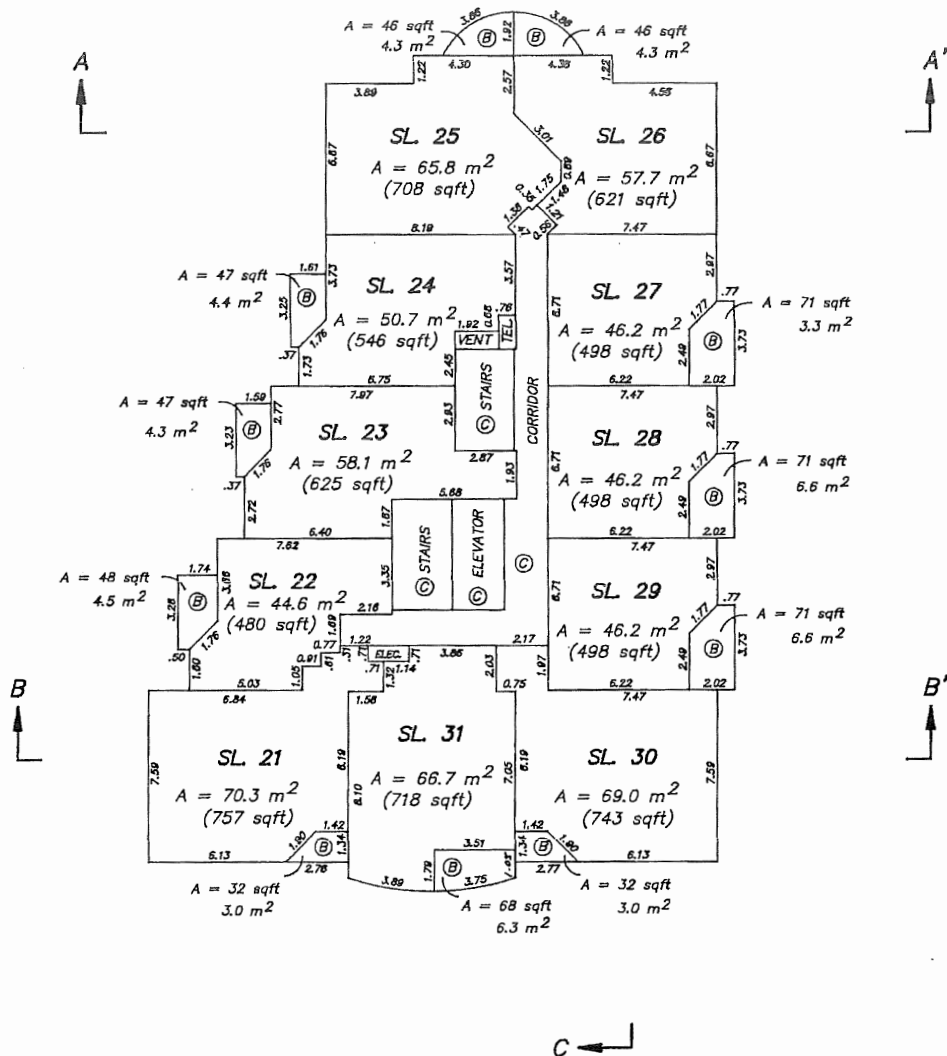
DATED THE 21 OF
JUNE 2025
B.C.L.S.
FILE: 1558H11

THIRD FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200

ALL DISTANCES ARE IN METRES



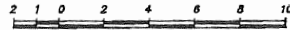
DATED 21 MAY OF 2025
 B.C.L.S.
 FILE 2008H12

SHEET 13 OF 28 SHEETS

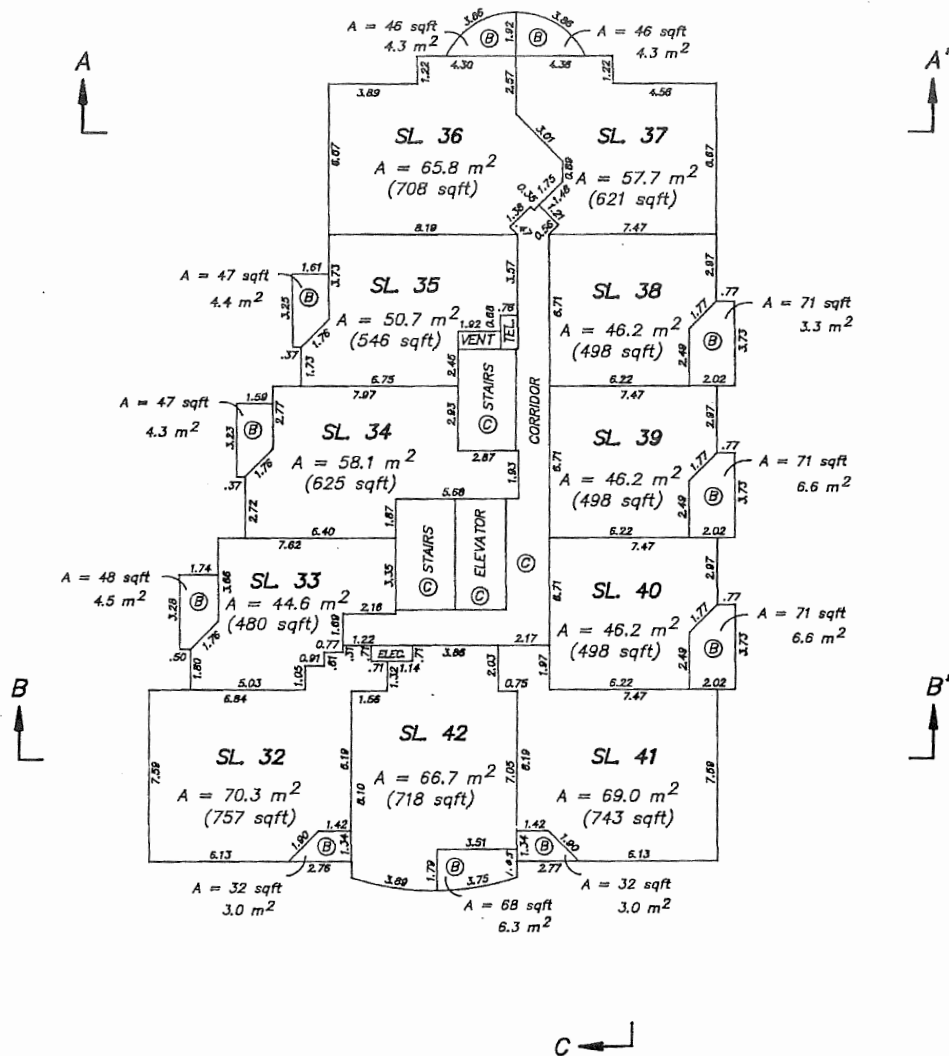
FOURTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES

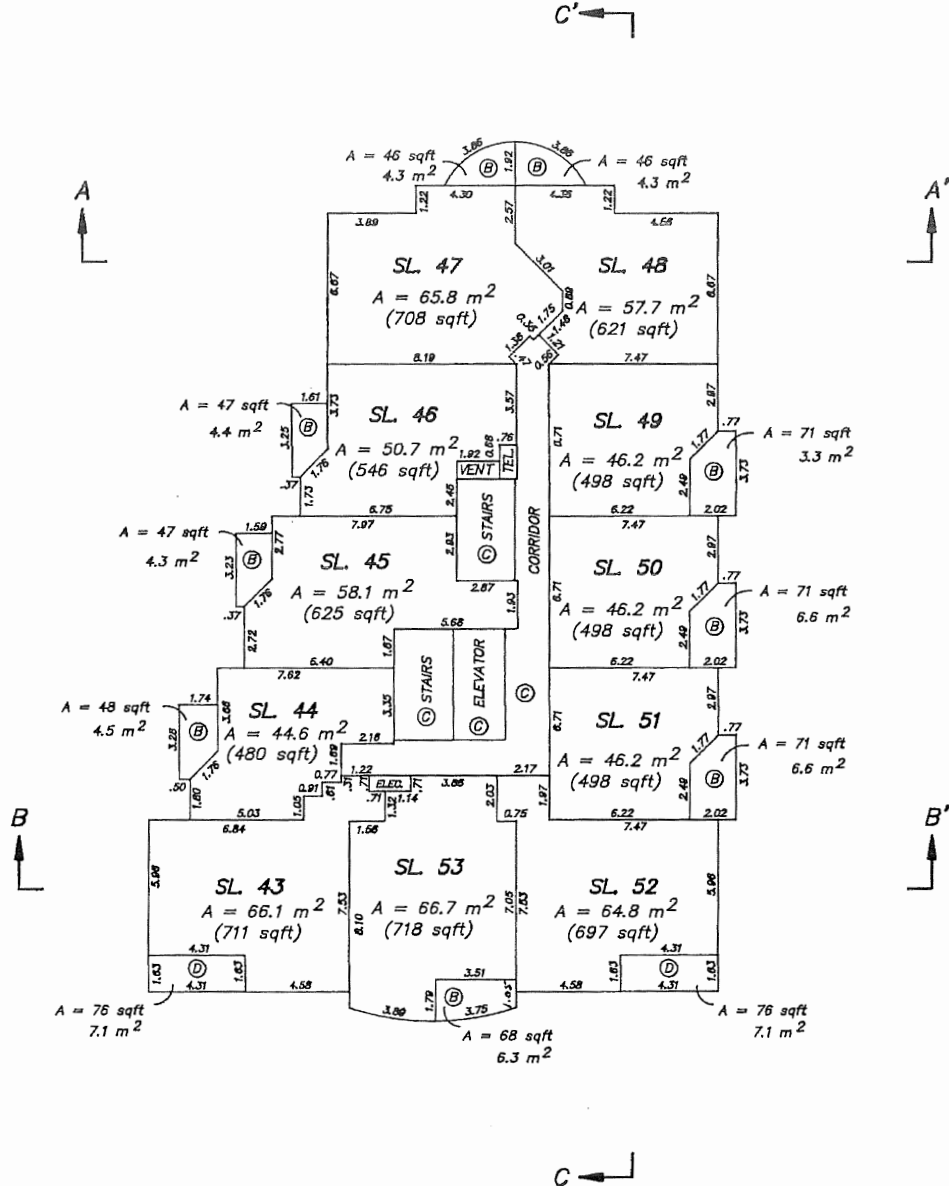
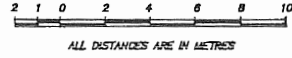


DATED THIS 21ST DAY OF
JULY 2005
B.C.L.S.
FILE NO. 08H13

FIFTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200




DATED THIS 21ST OF
JUN 2008
B.C.L.S.
08H114

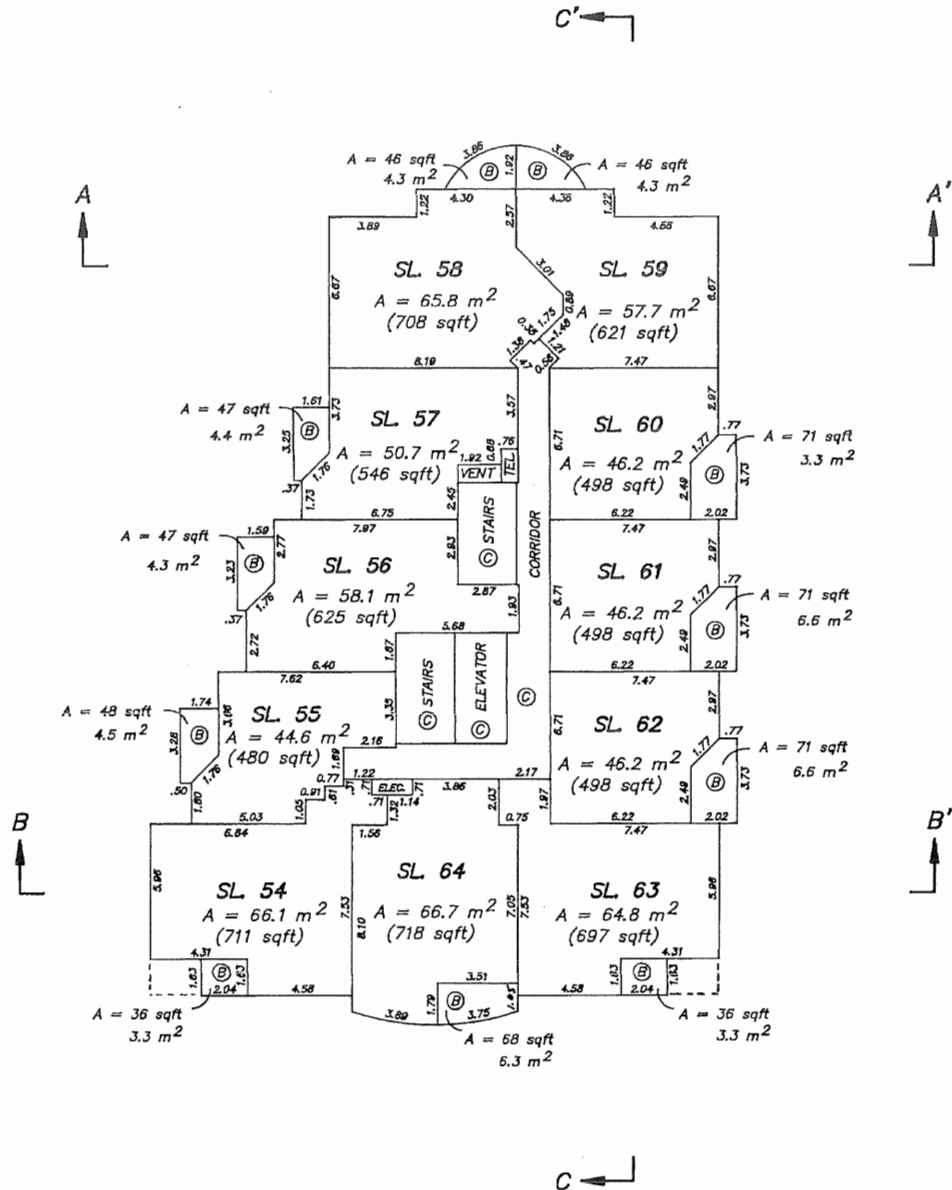
SIXTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



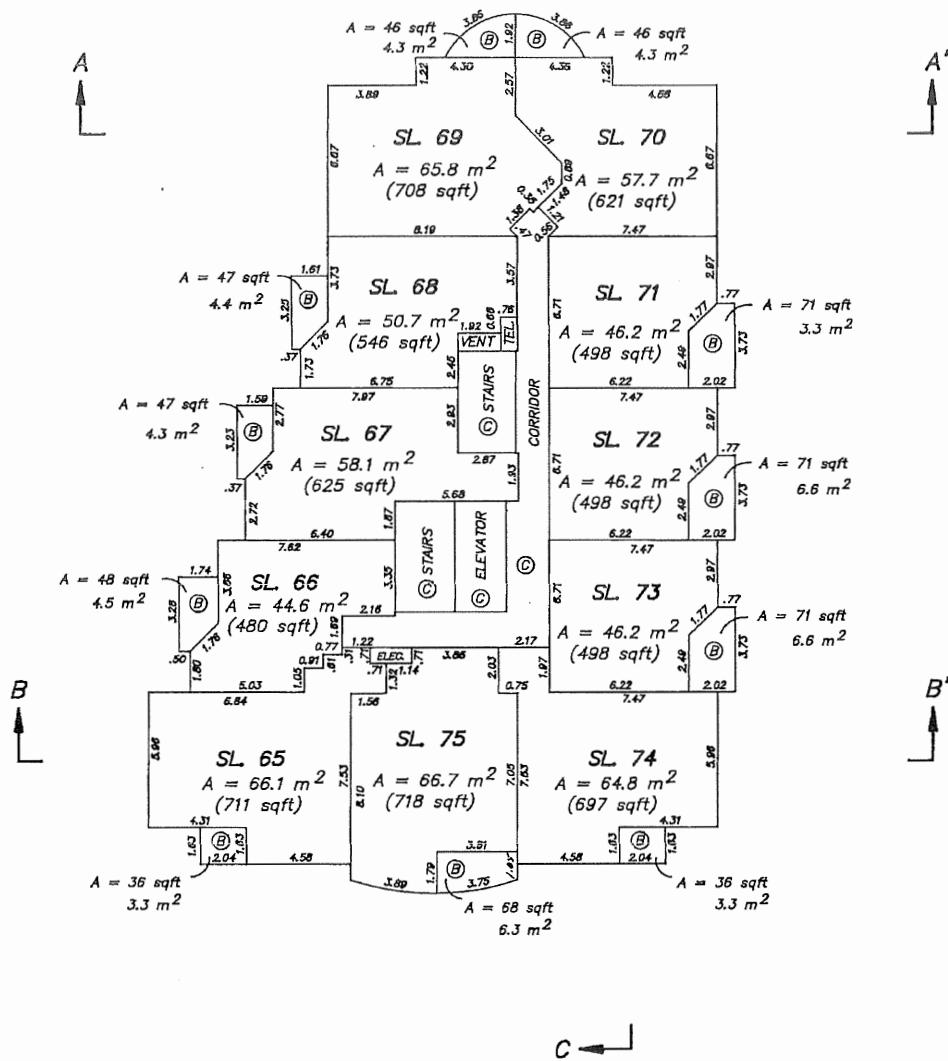
DATED THIS 21ST DAY OF
JUN 1998
B.C.L.S.
FILE: 008H15

SHEET 16 OF 28 SHEETS

SEVENTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
ALL DISTANCES ARE IN METRES

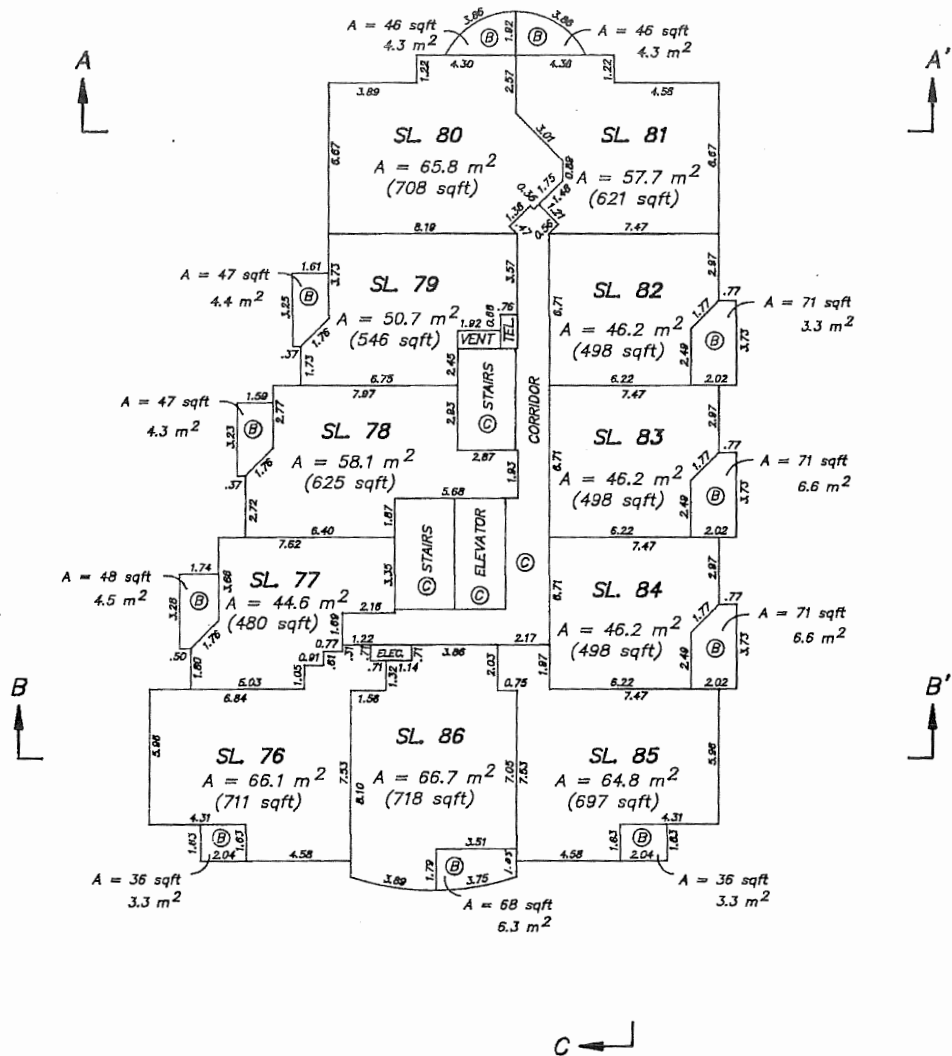


DATED THE 21 DAY OF
JULY 1998
B.C.L.S.
FILE: 0608H16

EIGHTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
2 1 0 2 4 6 8 10
ALL DISTANCES ARE IN METRES

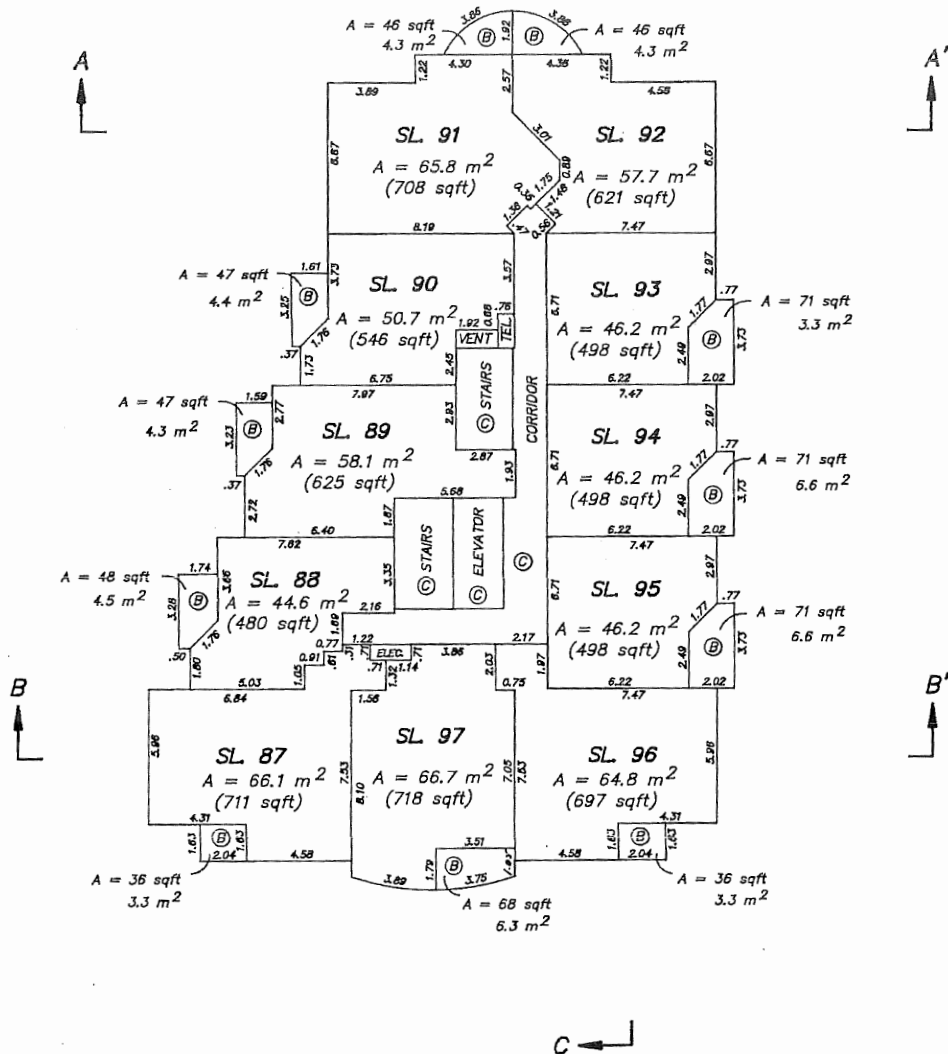


DATED THE 21 DAY OF
JULY 2025
B.C.L.S.
E: 108H17

NINTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
2 1 0 2 4 6 8 10
ALL DISTANCES ARE IN METRES

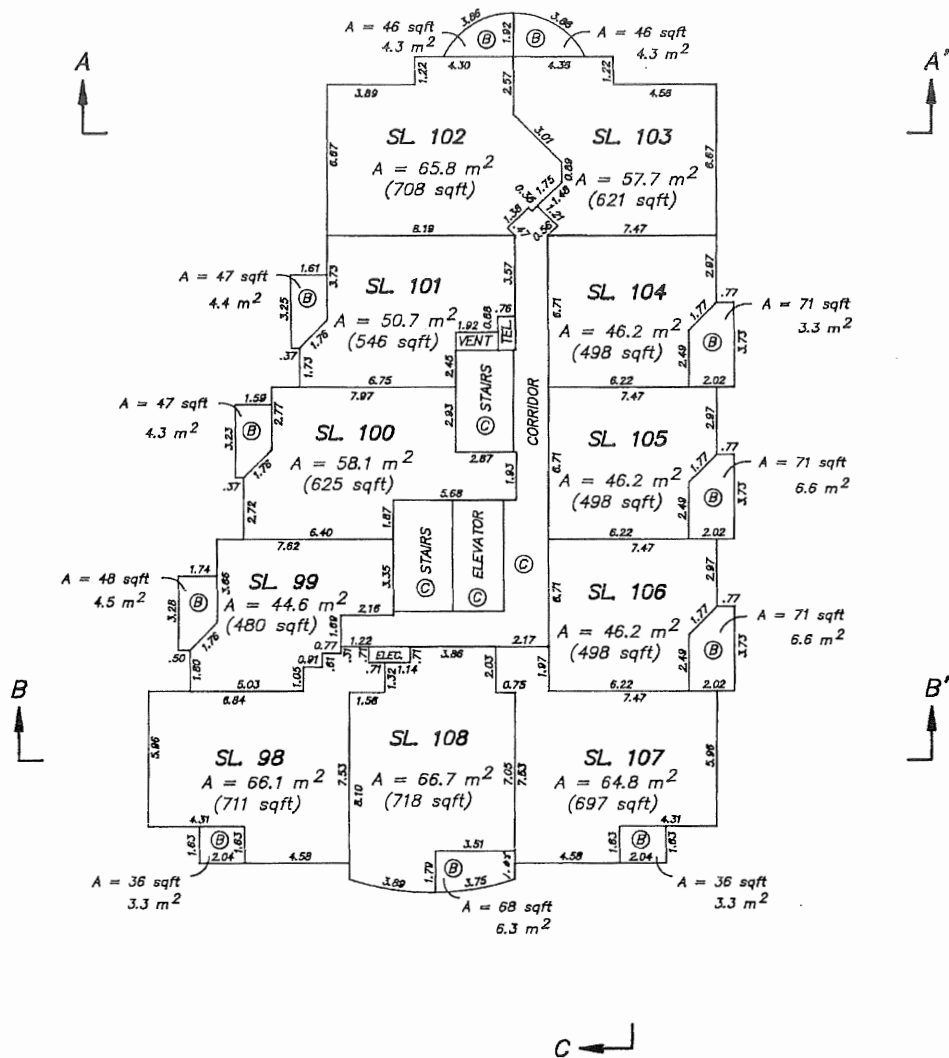


DATED 21 DAY OF
JUNE
B.C.L.S.
FILE 1608H18

TENTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
ALL DISTANCES ARE IN METRES

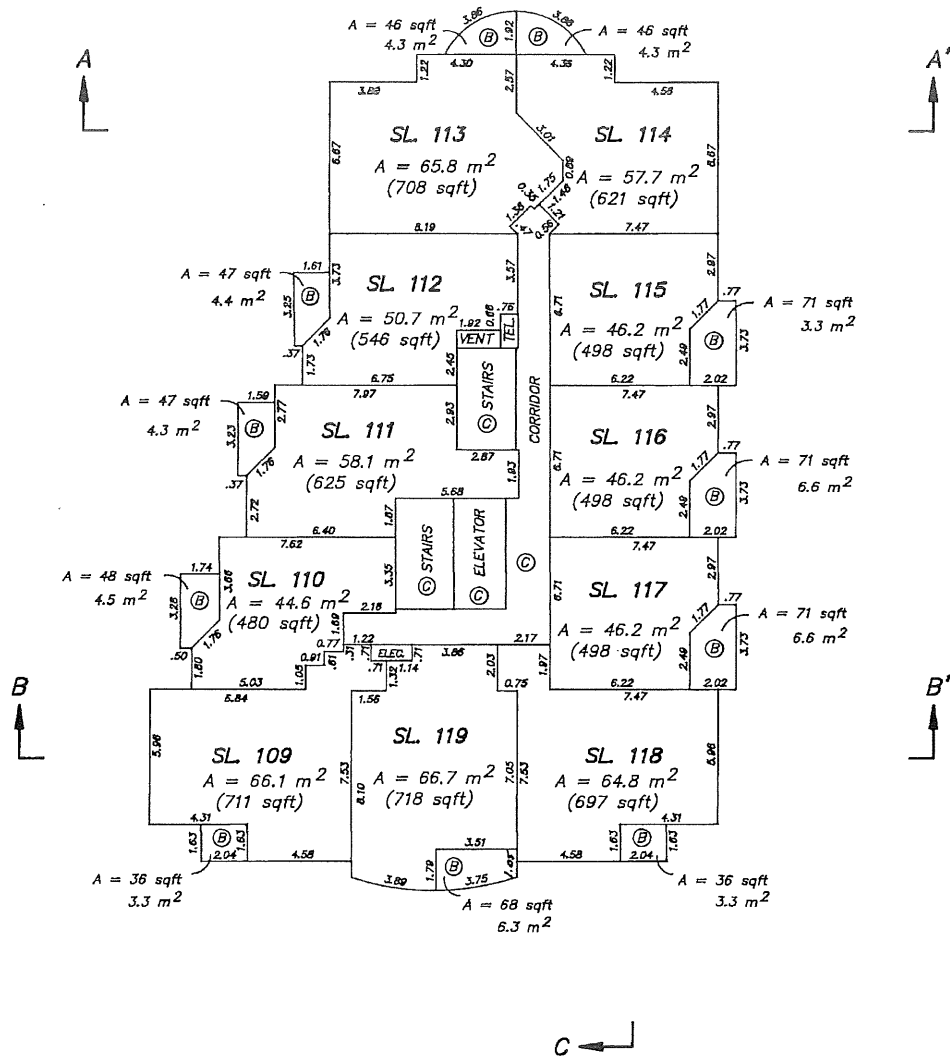
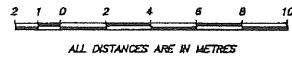


DATED 21 MAY OF 1994
B.C.L.S.
FILE 608H19

ELEVENTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



DATED 21 MAY OF
B.C.L.S.
FILE: 2608H20

SHEET 21 OF 28 SHEETS

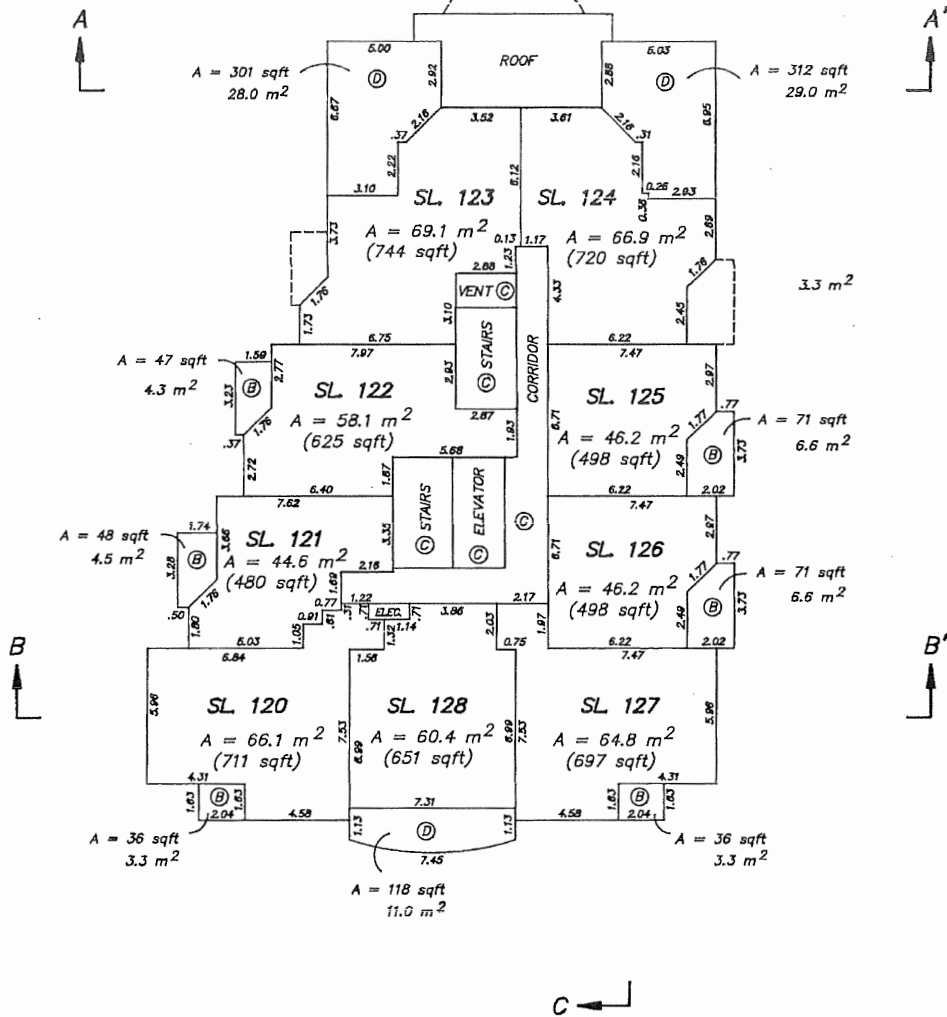
TWELVETH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
2 1 0 2 4 6 8 10
ALL DISTANCES ARE IN METRES



C' ←



DATED 21st DAY OF
JULY 2024
B.C.L.S.
FILE 608H21

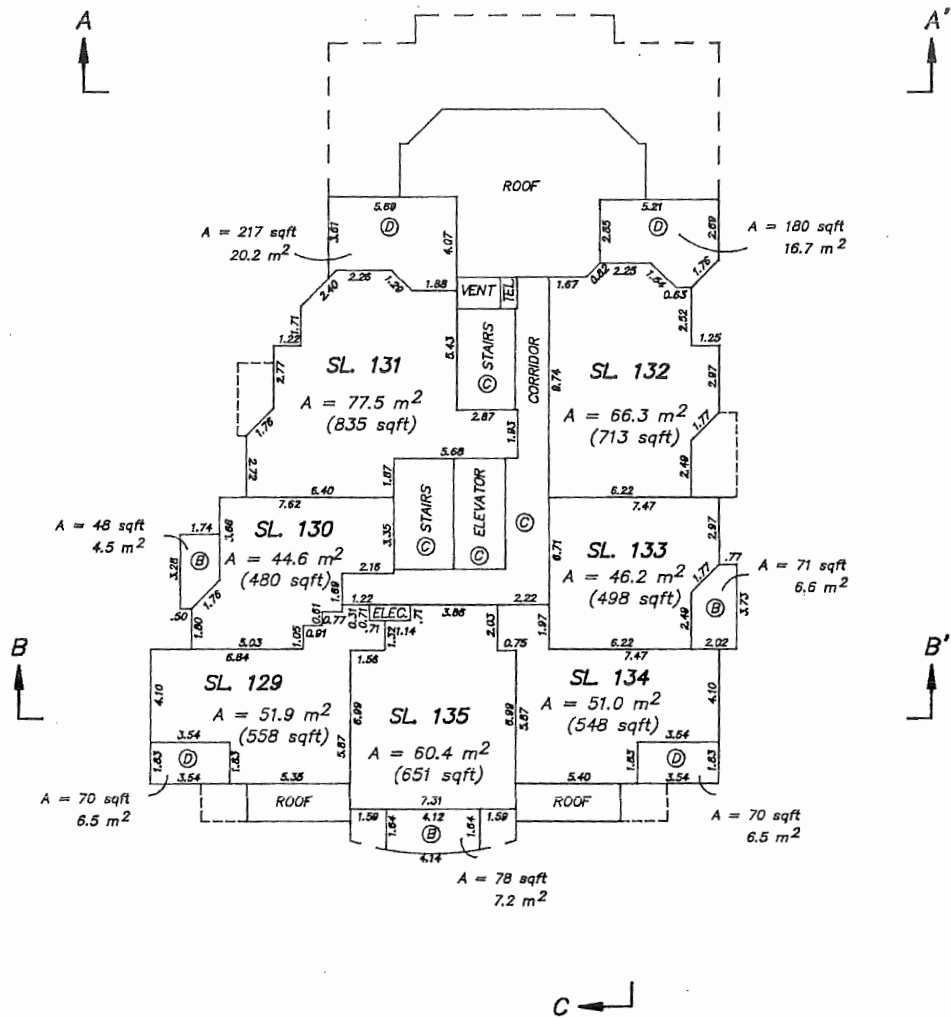
THIRTEENTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200
ALL DISTANCES ARE IN METRES



C' ←



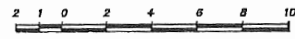
DATED THIS 21st DAY OF
JULY 1994
B.C.L.S.
LE 1608H22

SHEET 23 OF 28 SHEETS

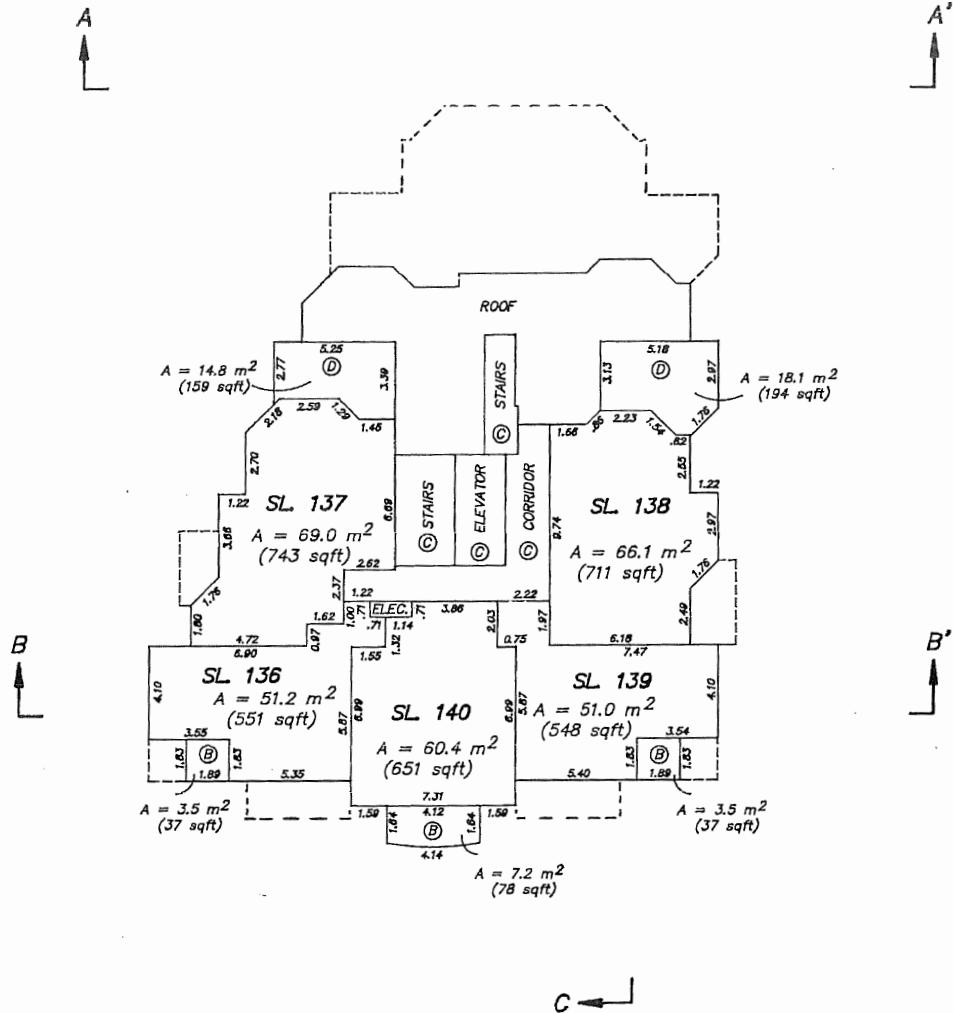
FOURTEENTH FLOOR PLAN

STRATA PLAN LMS 1558

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



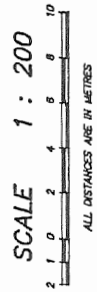
DATED: 21st DAY OF JULY 1998
 BY: [Signature]
 B.C.L.S.
 LE: 08H23

30

SHEET 24 OF 28 SHEETS

STRATA PLAN LMS 1558

SECTION PLAN



SECTION A - A'

	Ⓓ L.C.P. S.L. 123	Ⓒ ROOF	Ⓓ L.C.P. S.L. 124
12 th FLOOR			
11 th FLOOR	S.L. 113		S.L. 114
10 th FLOOR	S.L. 102		S.L. 103
9 th FLOOR	S.L. 91		S.L. 92
8 th FLOOR	S.L. 80		S.L. 81
7 th FLOOR	S.L. 69		S.L. 70
6 th FLOOR	S.L. 58		S.L. 59
5 th FLOOR	S.L. 47		S.L. 48
4 th FLOOR	S.L. 36		S.L. 37
3 rd FLOOR	S.L. 25		S.L. 26
2 nd FLOOR	S.L. 14		S.L. 15
GROUND FLOOR	S.L. 4		S.L. 5

PARKING LEVEL P1	69	PARKING AISLE Ⓒ
PARKING LEVEL P2	103	PARKING AISLE Ⓒ


DATED 7 JUL 2011 BY OF
JUL 2011
B.C.L.S.
FILE: 609H26

SHEET 25 OF 28 SHEETS

STRATA PLAN LMS / S-S-B

SECTION PLAN

SCALE 1 : 200



ALL DISTANCES ARE IN METRES

SECTION B - B'

DATED 21 JUL 2004
 JUL 2004
 B.C.L.S.
 FILE 2708427

14 th FLOOR	S.L. 136	S.L. 140	S.L. 139
13 th FLOOR	S.L. 129	S.L. 135	S.L. 134
12 th FLOOR	S.L. 120	S.L. 128	S.L. 127
11 th FLOOR	S.L. 109	S.L. 119	S.L. 118
10 th FLOOR	S.L. 98	S.L. 108	S.L. 107
9 th FLOOR	S.L. 87	S.L. 97	S.L. 96
8 th FLOOR	S.L. 76	S.L. 86	S.L. 85
7 th FLOOR	S.L. 65	S.L. 75	S.L. 74
6 th FLOOR	S.L. 54	S.L. 64	S.L. 63
5 th FLOOR	S.L. 43	S.L. 53	S.L. 52
4 th FLOOR	S.L. 32	S.L. 42	S.L. 41
3 rd FLOOR	S.L. 21	S.L. 31	S.L. 30
2 nd FLOOR	S.L. 10	S.L. 20	S.L. 19
GROUND FLOOR	S.L. 1	LOBBY ©	S.L. 9

PARKING LEVEL P1	79	PARKING AISLE ©	14	13	12	11		10	9	8	7	6	5	©	4	©	3	2	1	PARKING AISLE ©		
PARKING LEVEL P2	113	PARKING AISLE ©	136	135	134	133	132	131	130	129	128	127	126	125	124		123	122	121	120	119	118

SHEET 26 OF 28 SHEETS

STRATA PLAN LMS 1558

SECTION PLAN

SCALE 1 : 200

ALL DISTANCES ARE IN METRES



SECTION C - C'

14 th FLOOR	S.L. 139	S.L. 138		(D)	(C) ROOF			
13 th FLOOR	S.L. 134	S.L. 133	S.L. 132		(D)	(C) ROOF		
12 th FLOOR	(B) S.L. 127	S.L. 126	S.L. 125	S.L. 124		(D)		
11 th FLOOR	(B) S.L. 118	S.L. 117	S.L. 116	S.L. 115	S.L. 114			
10 th FLOOR	(B) S.L. 107	S.L. 106	S.L. 105	S.L. 104	S.L. 103			
9 th FLOOR	(B) S.L. 96	S.L. 95	S.L. 94	S.L. 93	S.L. 92			
8 th FLOOR	(B) S.L. 85	S.L. 84	S.L. 83	S.L. 82	S.L. 81			
7 th FLOOR	(B) S.L. 74	S.L. 73	S.L. 72	S.L. 71	S.L. 70			
6 th FLOOR	(B) S.L. 63	S.L. 62	S.L. 61	S.L. 60	S.L. 59			
5 th FLOOR	(D) S.L. 52	S.L. 51	S.L. 50	S.L. 49	S.L. 48			
4 th FLOOR	S.L. 41		S.L. 40	S.L. 39	S.L. 38	S.L. 37		
3 rd FLOOR	S.L. 30		S.L. 29	S.L. 28	S.L. 27	S.L. 26		
2 nd FLOOR	S.L. 19		S.L. 18	S.L. 17	S.L. 16	S.L. 15		
GROUND FLOOR	(P) S.L. 9	S.L. 8	S.L. 7	S.L. 6	S.L. 5			
PARKING AISLE (C)	2	54	CORRIDOR (C)	37	ELEC. ROOM (C)	46	PARKING AISLE (C)	52
PARKING AISLE (C)	122	121	CORRIDOR (C)		104	168	PARKING AISLE (C)	86

DATED 21 MAY OF 2008

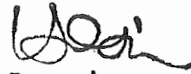
FILE: 608H28

Common Property Sheet Closed 4/1/96

Search ALTOSS or BC OnLine for
Current Information. BC Reg. 76/95

SHEET 28 OF 28 SHEETS

STRATA PLAN LMS 1558


LINDA J. O'SHEA, Registrar
Vancouver/New Westminster Land Title Districts

DEALINGS AFFECTING THE COMMON PROPERTY

REGISTRATION		DOCUMENT	
NUMBER	DATE	DATE	NATURE AND PARTICULARS
HERETO IS ANNEXED EASEMENT DG 60250 OVER LOT 1 PLAN LMP 5831 (PARTIAL RELEASE DG 73865 03-03-1993 AS TO STRATA LOTS 1 TO 24 STRATA PLAN LMS 751 CANCELLED AS TO ALL EXCEPT PART IN PLAN LMP 8180 BY DG 446492 10-12-1993 L.J. O'SHEA / PM MODIFIED BY BH 307948			
HERETO IS ANNEXED EASEMENT DG 60251 OVER LOT 2 PLAN LMP 5831 (PARTIAL RELEASE DG 111686 02-04-1993 AS TO STRATA LOTS 1 TO 85 STRATA PLAN LMS 784 CANCELLED AS TO ALL EXCEPT PART IN PLAN LMP 8180 BY DG 446493 10-12-1993 L.J. O'SHEA / PM MODIFIED BY BH 307949			
HERETO IS ANNEXED EASEMENT DG 60257 OVER LOT 2 PLAN LMP 5831 (PARTIAL RELEASE DG 111697 02-04-1993 AS TO STRATA LOTS 1 TO 85 STRATA PLAN LMS 784 CANCELLED AS TO ALL EXCEPT PART IN PLAN LMP 3195 BY DG 446491 10-12-1993 L.J. O'SHEA / PM.			
HERETO IS ANNEXED EASEMENT DG 60258 OVER LOT 3 PLAN LMP 5831 (PARTIAL RELEASE BH 337533 15/09/94 AS TO STRATA LOTS 1 TO 67 STRATA PLAN LMS 1557 EXCEPT THE COMMON PROPERTY.			
HERETO IS ANNEXED EASEMENT DG 60260 OVER LOT 5 PLAN LMP 5831 (PARTIAL RELEASE BH 108472 30-03-1994 AS TO STRATA LOTS 1-150 STRATA PLAN LMS 1299			
HERETO IS ANNEXED EASEMENT BH 89470 OVER LOT 5 PLAN LMP 5831 (PARTIAL RELEASE BH 102999 29-03-1994 AS TO STRATA LOTS 1 TO 150 STRATA PLAN LMS 1299			
HERETO IS ANNEXED EASEMENT BH 307947 OVER THE COMMON PROPERTY OF STRATA PLAN LMS 1299			
DG 60253	22-02-1993	EASEMENT	
		APPURTENANT TO LOTS 1,	
		2, 3, AND 5 PLAN LMP 5831	
		CANCELLED BY DG 77468	
		08-03-1993 AS TO LOT 1	
		NOW STRATA PLAN LMS 751	
		ALL EXCEPT THE COMMON	
		PROPERTY CANCELLED BY	
		DG 111701 02-04-1993	
		AS TO LOT 2 NOW STRATA	
		PLAN LMS 784 ALL EXCEPT	
		THE COMMON PROPERTY	
		PARTIAL RELEASE BH 103008	
		29-03-1994 @ 9:05 AS TO	
		STRATA LOTS 1 TO 150 STRATA	
		PLAN LMS 1299	
		MODIFIED BY BH 307951	
		INTER ALIA	
		PARTIAL RELEASE BH 337522 15/09/94 ON TO STRATA LOTS 1 TO 67	
		STRATA PLAN LMS 1557 EXCEPT THE COMMON PROPERTY	

CONT'D 28 A

 DATED 2 DAY OF
 JUL 1994
 B.C.L.S.
 FILE 2608H25

Common Property Sheet Closed 4/19/96

28 A

SHEET # OF # SHEETS

Search ALTOS2 or BC OnLine for
Current Information. BC Reg. 76/95

STRATA PLAN LMS 1558

Linda J. O'Shea

LINDA J. O'SHEA
Vancouver, Westminister Land Title Districts

DEALINGS AFFECTING THE COMMON PROPERTY

REGISTRATION		DOCUMENT	
NUMBER	DATE	DATE	NATURE AND PARTICULARS
BG 60259	22.02.1993		EASEMENT APPURTENANT TO LOTS 1, 2, 3 AND 5 PLAN LMS 5831 CANCELLED BG 77467 08.03.1993 AS TO LOT 1 NOW STRATA PLAN LMS 751 ALL EXCEPT THE COMMON PROPERTY CANCELLED BY BG 111702 02.04.1993 AS TO LOT 2 NOW STRATA PLAN LMS 784 ALL EXCEPT PARTIAL RELEASE BG 337636 15/09/94 THE COMMON PROPERTY Now Strata Lots 1 to 67 Strata Plan LMS 1557 PARTIAL RELEASE BH 103009 Except the Common Property 29.03.1994 @ 9:05 AS TO STRATA LOTS 1 TO 150 STRATA PLAN LMS 1259 INTER ALIA
BH 186233	19.05.1994		STATUTORY RIGHT OF WAY BRITISH COLUMBIA HYDRO AND POWER AUTHORITY INTER ALIA
BH 307951	19.08.1994		EASEMENT MODIFICATION OF Cancelled BG 337622 15/09/94 11:29 L.O'Shea / dev BG 60253 (SEE BH 307951) INTER ALIA
BH 307954	19.08.1994		EASEMENT PLAN LMP 18471 PARTIAL RELEASE BH 337630 15/09/94 Now Strata Lots 1 to 67 Strata Plan LMS 1557 Except the Common Property APPURTENANT TO LOT 3 PLAN LMS 5831 INTER ALIA
BH 307957	19.08.1994		EASE 431691 BRITISH COLUMBIA LTD. (INC # 431691) PARKING STALL # 42 PLAN LMP 18472
BH 307958	19.08.1994		EASE 431691 BRITISH COLUMBIA LTD (INC # 431691) PARKING STALL # 43 PLAN LMP 18472
BH 307959	19.08.1994		EASE 431691 BRITISH COLUMBIA LTD (INC # 431691) PARKING STALL # 49 PLAN LMP 18472

CONT'D 28 B

DATED THIS 21 DAY OF

B.C.L.S.

B.C.L.S.

Common Property Sheet Closed 4/1/96Search ALTOS2 or BC OnLine for
Current Information, BC Reg. 76/95LINDA J. O'SHEA, Registrar
Vancouver/New Westminster Land Title Districts

280

SHEET #1 OF 11 SHEETS

STRATA PLAN LMS 1558

DEALINGS AFFECTING THE COMMON PROPERTY

REGISTRATION		DOCUMENT	
NUMBER	DATE	DATE	NATURE AND PARTICULARS
BH307960	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #50 PLAN LMP18472
BH307961	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #69 PLAN LMP18472
BH307962	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #70 PLAN LMP18472
BH307963	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #82 PLAN LMP18472
BH307965	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #103 PLAN LMP18473
BH307966	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #116 PLAN LMP18473
BH307967	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. (INC. # 431691) PARKING STALL #117 PLAN LMP18473
BH307968	19.08.1994		LEASE 431691 BRITISH COLUMBIA LTD. PARKING STALL #119 PLAN LMP18473

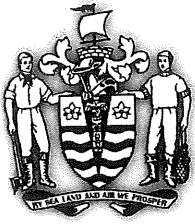
CONT'D SHEET 28C

DATED THIS 21 DAY OF

OCT 1995

B.C.L.S.

FILE # 606871



City of Vancouver *Zoning and Development By-law*

Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 873.7060
 planning@city.vancouver.bc.ca

CD-1 (222)

3450 Wellington Avenue By-law No. 6325

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective March 22, 1988

(Amended up to and including By-law No. 8169, dated March 14, 2000)

Guidelines:

Joyce Station Area

Guidelines for CD-1 By-law No. 6325
 (3450 Wellington Avenue Site)

This is Exhibit "D" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits
 within British Columbia.

1 [Section 1 is not reprinted here. It contains a standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1.]

2 The area shown included within the heavy black outline on Schedule "A" is rezoned to CD-1, and the only uses permitted within the said area, subject to such conditions as Council may by resolution prescribe, including design guidelines, and the only uses for which development permits will be issued are:

- Multiple dwelling, subject to the provision of a minimum of 20 parking spaces which shall:
 - (a) be located adjacent to the lane abutting the southeasterly boundary of the area outlined on Schedule "A" attached;
 - (b) have a configuration satisfactory to the Director of Planning; and
 - (c) be available for use by the public while shopping in the adjacent commercial district, provided that no space shall be available for use by any individual vehicle for a period of longer than four hours.
- Accessory uses customarily ancillary to the foregoing.

3 Floor Space Ratio

The maximum floor space ratio for multiple dwellings, calculated as if located in the RM-4N District, shall be 1.45, except that the following shall also be excluded from the floor space ratio calculation:

- (i) enclosed balconies and other features designed to reduce transit noise, provided the Director of Planning first approves the design of any such feature, and provided further that the total area of all such enclosures and other features does not exceed eight percent of the permitted floor area; and
- (ii) the following ancillary amenity facilities for the social and recreational enjoyment of the residents provided that the area of such excluded facilities does not exceed 20 percent of the allowable floor space:
 - saunas;
 - tennis courts;
 - swimming pools;
 - squash or racketball courts;
 - gymnasium and workout rooms;
 - games and hobby rooms;
 - other related Indoor uses of a social or recreational nature which in the opinion of the Director of Planning are similar to the above;
- (iii) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, shall be excluded in the computation of floor space ratio, except that this subclause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

4 Site Area

The minimum site area for a multiple dwelling shall be 22 296 m² (240,000 sq. ft.).

5 Site Coverage

5.1 The maximum site coverage for buildings shall be 25 percent of the site area.

5.2 For the purpose of this section, site coverage for buildings shall be based on the projected area of the outside of the outermost walls of all buildings and includes carports, but excludes steps, eaves, balconies and sun decks.

Note: Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 6325 or provides an explanatory note.

- 5.3 The maximum site coverage for that portion of the site used as parking area shall be 30 percent.

6 Height

The maximum building height measured above the base surface shall be 36.6 m (120 ft.), except that within 45.8 m (150 ft.) of the boundary of the site abutting Wellington Avenue the maximum building height shall be 9.2 m (30 ft.).

7 Acoustics

All development permit applications shall require evidence in the form of a report prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise levels set opposite such portions. For the purposes of this section the "noise level" is the A-weighted 24-hour equivalent (LEQ) sound level expressed in decibels.

Portions Of Dwelling Units	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

[7515; 96 01 11]

8 Off-street Parking

- 8.1 Off-street parking shall be provided, developed and maintained In accordance with the provisions of the Parking By-law except as follows:

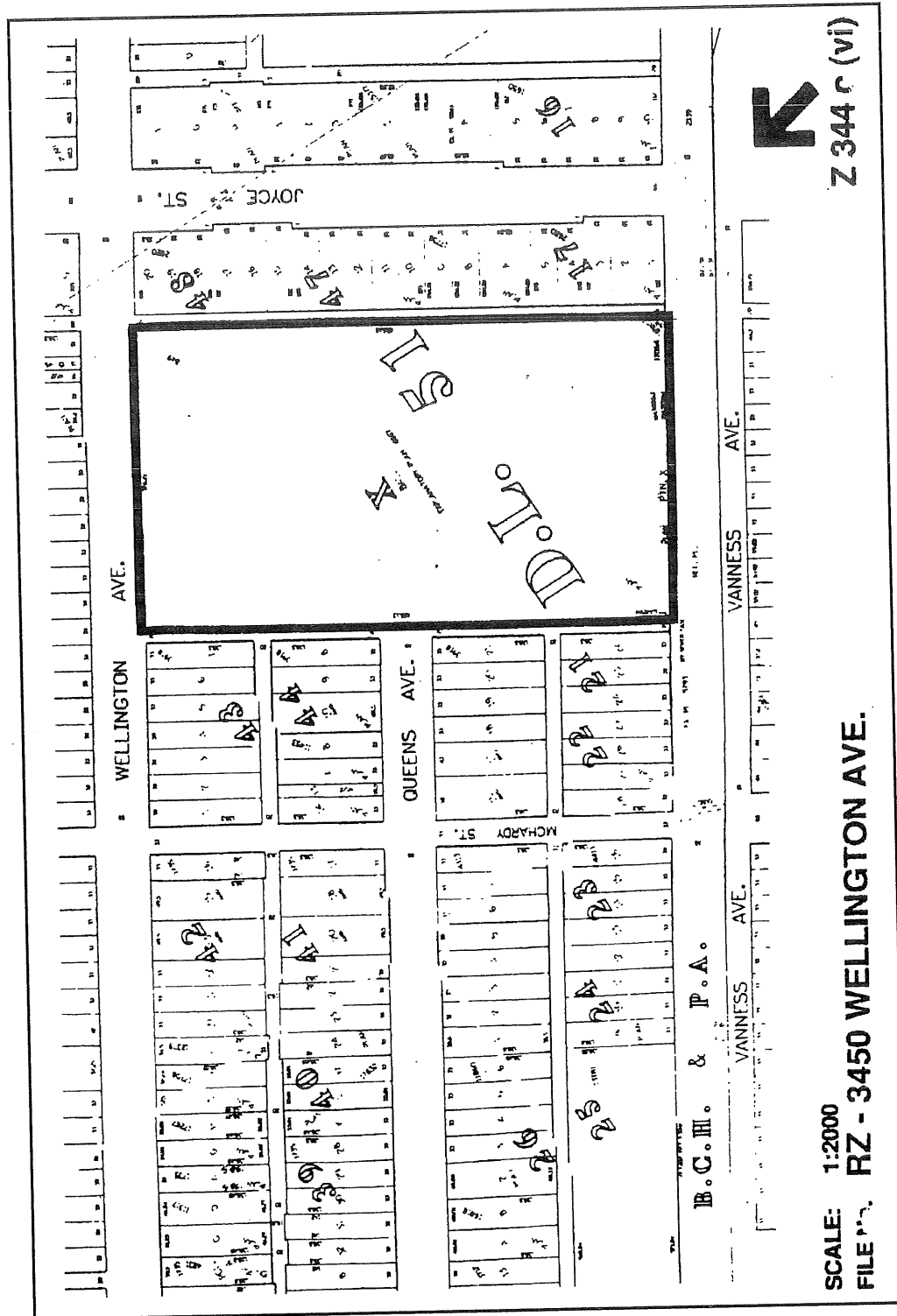
- (a) for multiple dwellings - no less than the greater of one space per unit or one space per 70 m² (753 sq. ft.) shall be provided;
- (b) for units designated solely for families of low income under the provisions of the National Housing Act - a minimum of 1 space for every dwelling unit shall be provided.

- 8.2 Off-street parking spaces required for multiple dwellings shall be provided underground, except that spaces required for senior citizens' housing and parking for visitors may be surface parking.

- 9 *[Section 9 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signatures to pass the by-law and to certify the by-law number and date of enactment.]*

By-law No. 6325 being a By-law to amend By-law No. 3575, being the Zoning and Development By-law

The property shown below (—) outlined in black is rezoned from M-1 & RS-1 to CD-1



This is Exhibit "E" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025



A Commissioner for taking Affidavits
within British Columbia.

**STRATA PLAN OF LOT 1 BLOCKS
B, H AND I, DISTRICT LOT 36,
GROUP 1 PLAN LMP51952 N.W.D.**

B.C.G.S. 92G.025

INTEGRATED SURVEY AREA No. 31 CITY OF VANCOUVER

THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES.
PRIOR TO COMPUTATION OF U.T.M. COORDINATES MULTIPLY
BY COMBINED FACTOR OF 0.9995861

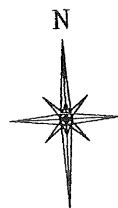
BEARINGS ARE (NAD83 CSRS) DERIVED FROM
CONTROL MONUMENTS V-2066 AND V-3799

STRATA PLAN BCS 404

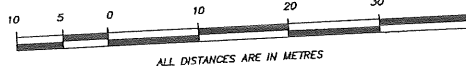
DEPOSITED AND REGISTERED IN THE LAND TITLE
OFFICE AT NEW WESTMINSTER, B.C.
THIS 27th DAY OF June, 2003

B. Bigard RS
DEPUTY REGISTRAR

BV243662-843



SCALE 1 : 500



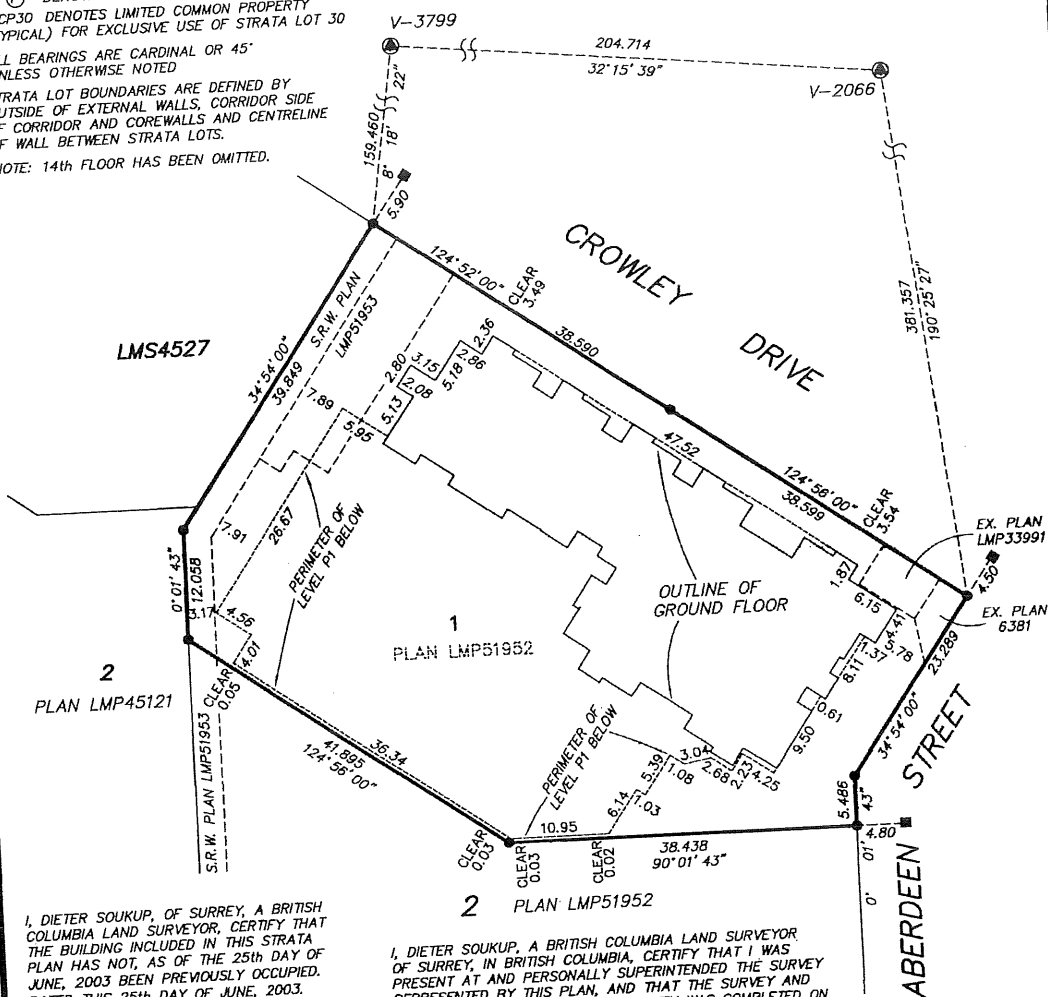
LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES LEAD PLUG FOUND
- SL DENOTES STRATA LOT
- A DENOTES AREA
- m² DENOTES SQUARE METRES
- DENOTES COMMON PROPERTY
- DENOTES BALCONY
- P DENOTES PATIO
- LCP30 DENOTES LIMITED COMMON PROPERTY (TYPICAL) FOR EXCLUSIVE USE OF STRATA LOT 30

ALL BEARINGS ARE CARDINAL OR 45°
UNLESS OTHERWISE NOTED

STRATA LOT BOUNDARIES ARE DEFINED BY
OUTSIDE OF EXTERNAL WALLS, CORRIDOR SIDE
OF CORRIDOR AND COREWALLS AND CENTRELINE
OF WALL BETWEEN STRATA LOTS.

NOTE: 14th FLOOR HAS BEEN OMITTED.



I, DIETER SOUKUP, OF SURREY, A BRITISH COLUMBIA LAND SURVEYOR, CERTIFY THAT THE BUILDING INCLUDED IN THIS STRATA PLAN HAS NOT, AS OF THE 25th DAY OF JUNE, 2003 BEEN PREVIOUSLY OCCUPIED. DATED THIS 25th DAY OF JUNE, 2003.

[Signature] B.C.L.S.

I, DIETER SOUKUP, OF SURREY, A BRITISH COLUMBIA LAND SURVEYOR, CERTIFY THAT THE BUILDING SHOWN ON THIS STRATA PLAN IS WITHIN THE EXTERNAL BOUNDARIES OF THE LAND THAT IS THE SUBJECT OF THE STRATA PLAN. DATED THIS 25th DAY OF JUNE, 2003.

[Signature] B.C.L.S.

I, DIETER SOUKUP, A BRITISH COLUMBIA LAND SURVEYOR OF SURREY, IN BRITISH COLUMBIA, CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN, AND THAT THE SURVEY AND PLAN ARE CORRECT. THE FIELD SURVEY WAS COMPLETED THE 25th DAY OF JUNE, 2003. THE PLAN WAS COMPLETED AND CHECKED, AND CHECKLIST FILED UNDER #2582, ON THE 25th DAY OF JUNE, 2003.

[Signature] B.C.L.S.

CIVIC ADDRESS OF PROPERTY
358B - CROWLEY DRIVE
VANCOUVER, B.C.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER DISTRICT

SOUKUP LAND SURVEYING INC.
#201 - 8484 - 162 STREET,
SURREY, B.C. V4N 1B4
TEL: 597-6161 FAX: 597-0259
FILE: NEXUS: LOT70-P1 DISK: 214

Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed

STRATA PROPERTY ACT

STRATA PLAN BCS 404

OWNER:
CROWLEY DRIVE HOLDINGS LTD.
(INC. NO. 522422)
BY ITS AUTHORIZED SIGNATORIES

[Signature]
NAME: A.T. GJERNES
Allan T. Gjernes

[Signature]
NAME: L.T. Wazny
Lionel T. Wazny

WITNESS:
AS TO BOTH SIGNATURES

[Signature]
NAME: H.S. MacDonald
Heather J. MacDonald
301-1220 Comox St.
ADDRESS OF WITNESS
Marketing Coordinator
OCCUPATION OF WITNESS

MORTGAGEE:
583421 BRITISH COLUMBIA LTD.
(INC. NO. 583421)
BY ITS AUTHORIZED SIGNATORIES

[Signature]
NAME: A.T. GJERNES

[Signature]
NAME: L.T. Wazny

WITNESS:
AS TO BOTH SIGNATURES

[Signature]
NAME: H.S. MacDonald
Heather J. MacDonald
301-1220 Comox St.
ADDRESS OF WITNESS
Marketing Coordinator
OCCUPATION OF WITNESS

MORTGAGEE:
BANK OF AMERICA, NATIONAL ASSOCIATION
BY ITS AUTHORIZED SIGNATORIES

[Signature]
NAME: Albert Somody

NAME: _____

WITNESS:
AS TO BOTH SIGNATURES

[Signature]
NAME: Helen Simpson

#574 - 1055 Dunsmuir St.
ADDRESS OF WITNESS
Vancouver, B.C. V7X 1L5
Relationship Administrator
OCCUPATION OF WITNESS

CITY OF VANCOUVER
BY ITS AUTHORIZED SIGNATORIES
as to Covenants BL 380137, BL 380138
BL 380144, BL 380149, BL 380151

[Signature]
NAME: FRANCE J. CONNELL

NAME: _____

WITNESS:
AS TO BOTH SIGNATURES

[Signature]
NAME: CHIA-LI YIP

453 WEST 12th Avenue, Vancouver
ADDRESS OF WITNESS
LEGAL ASSISTANT
OCCUPATION OF WITNESS

DATED THIS 24th DAY OF
JUNE, 2003

[Signature] B.C.L.S.
FILE: NEXUS: LOT7D-P1 DISK: 214

Plan #: BCS404 App #: N/A Ctlr #:

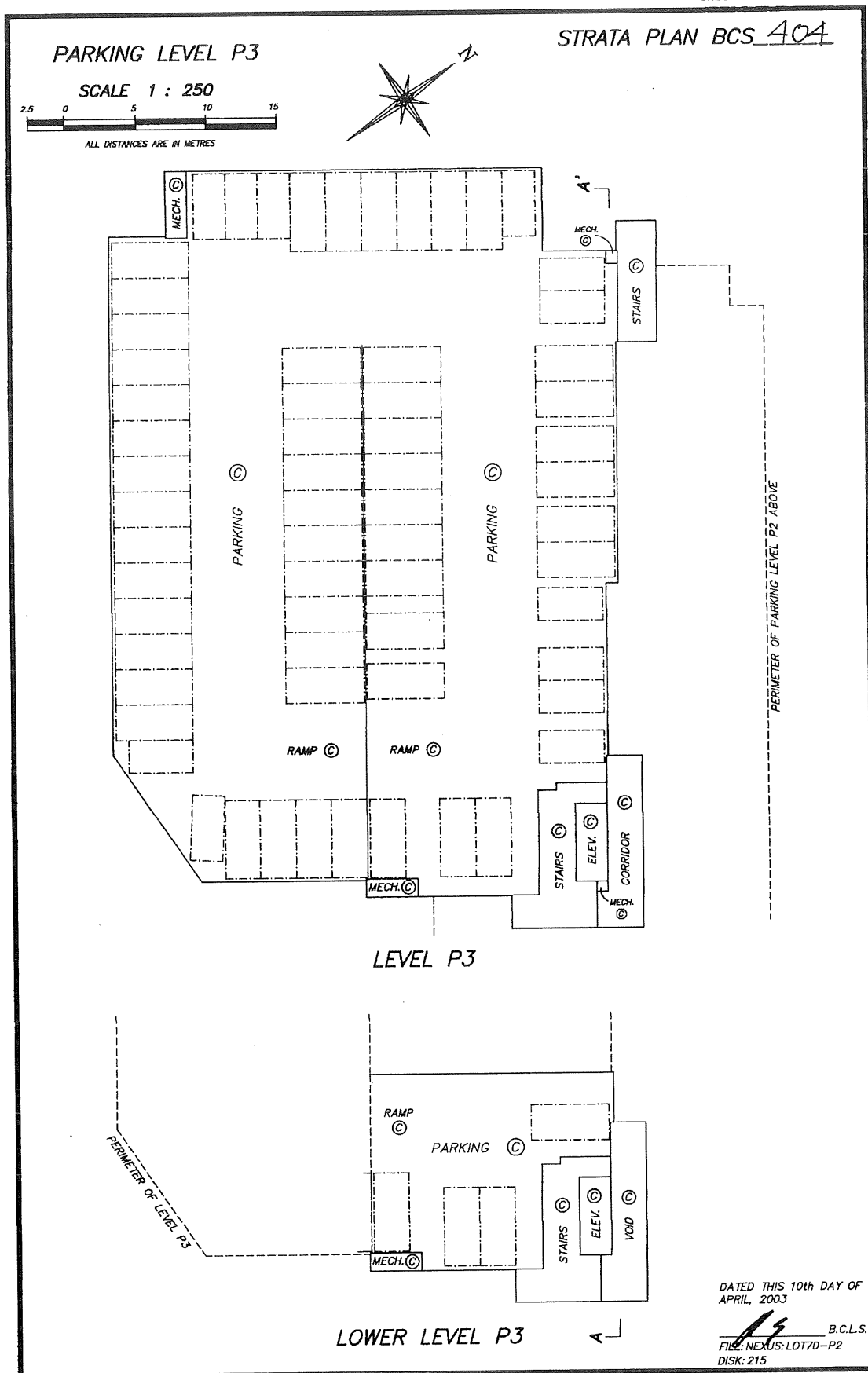
Status: Filed

RCVD: 2003-06-27 RQST: 2025-08-27 14.10.33

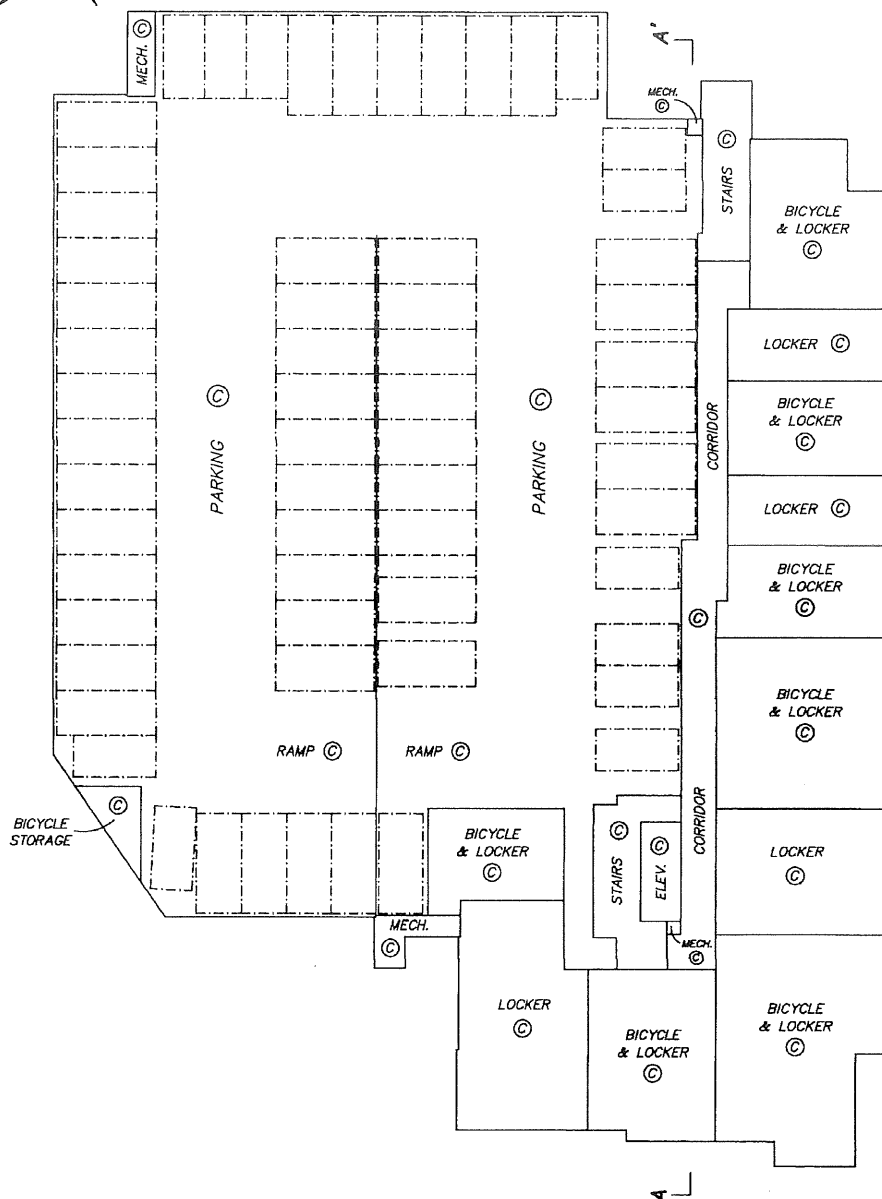
Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed

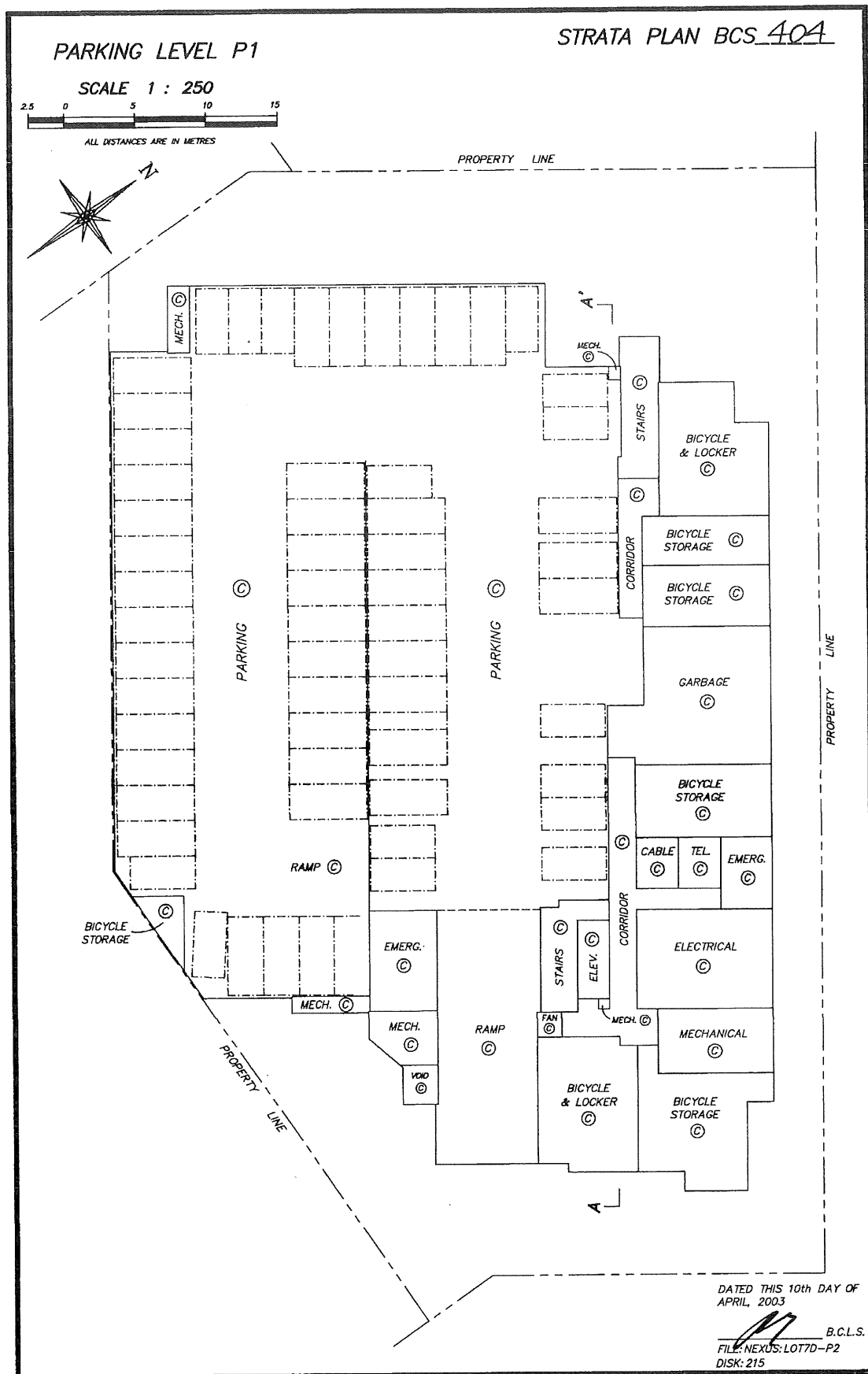
SHEET 3 OF 19 SHEETS



SCALE 1 : 250



DATED THIS 10th DAY OF
APRIL, 2003
JS B.C.L.S.
FILE: NEXUS: LOT7D-P2
DISK: 215

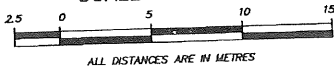


SHEET 6 OF 19 SHEETS

STRATA PLAN BCS 404

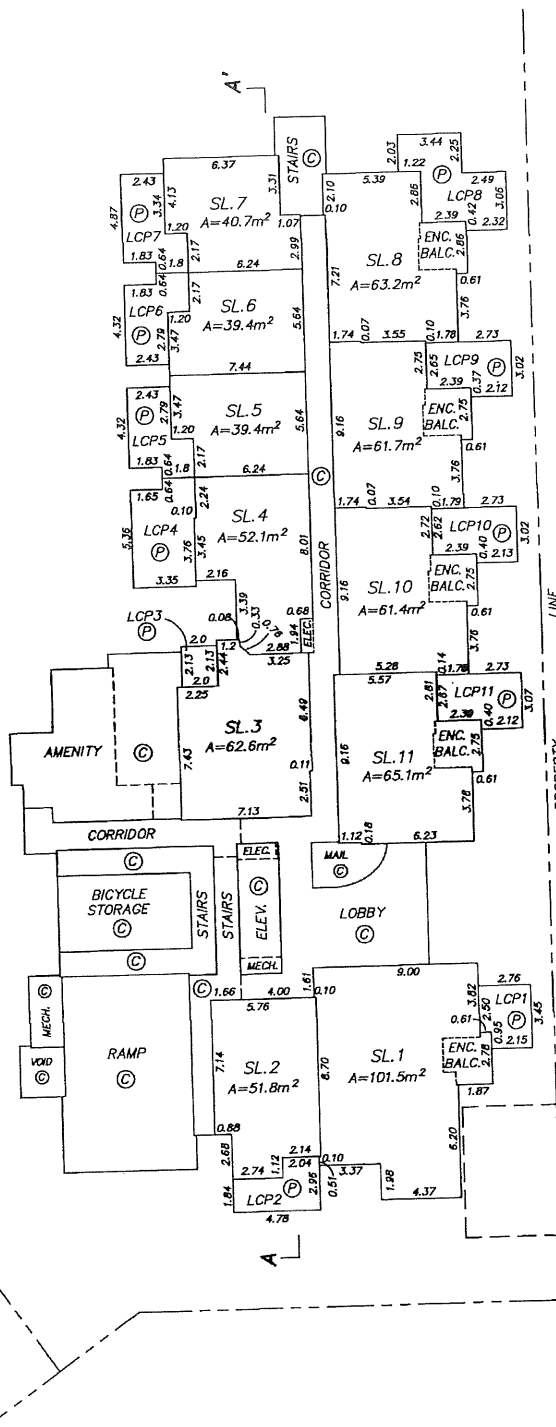
GROUND FLOOR PLAN

SCALE 1 : 250



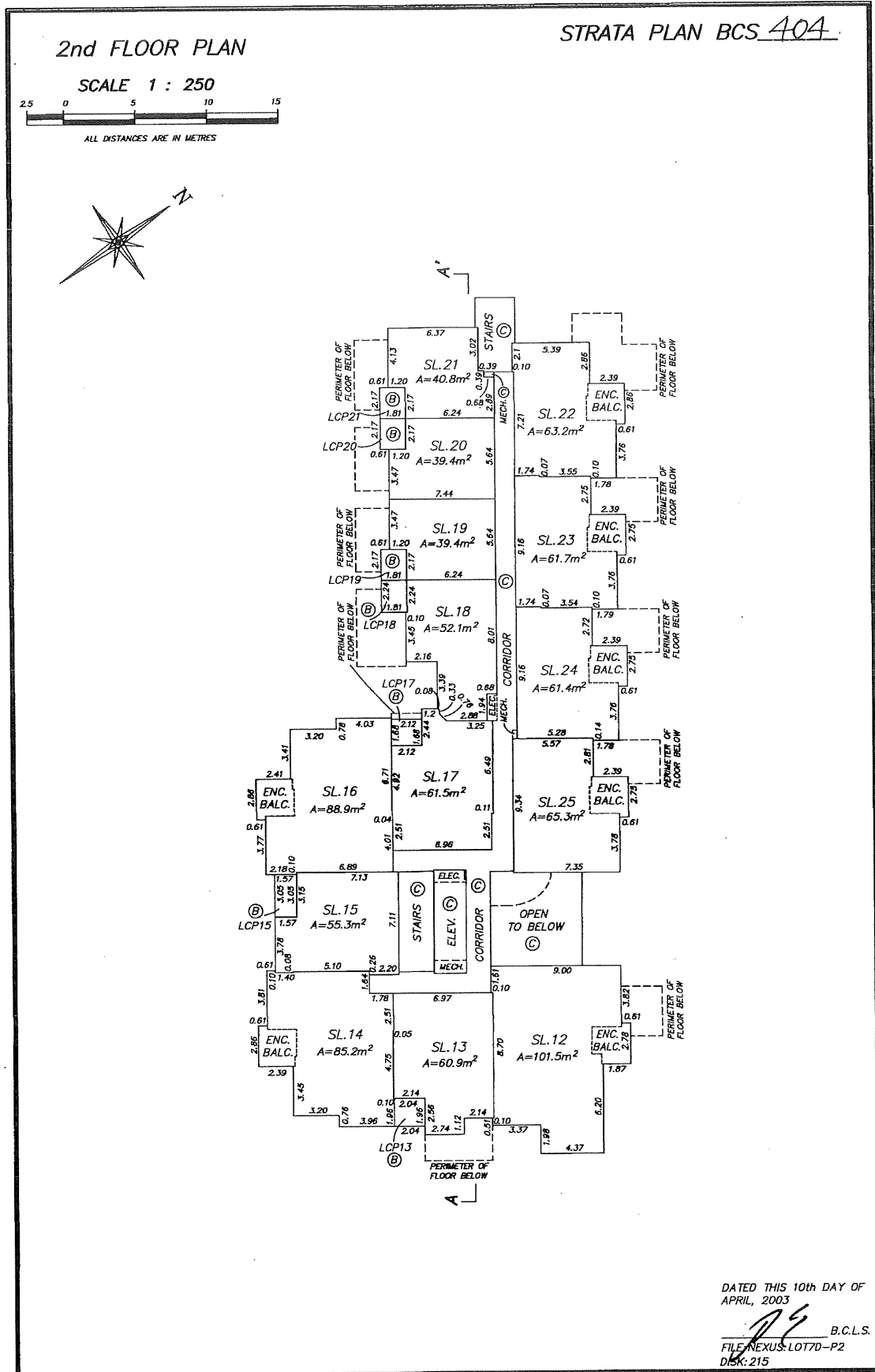
Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed



DATED THIS 10th DAY OF
APRIL, 2003

[Signature] B.C.L.S.
FILE: NEXUS: L077D-P2
DISK: 215

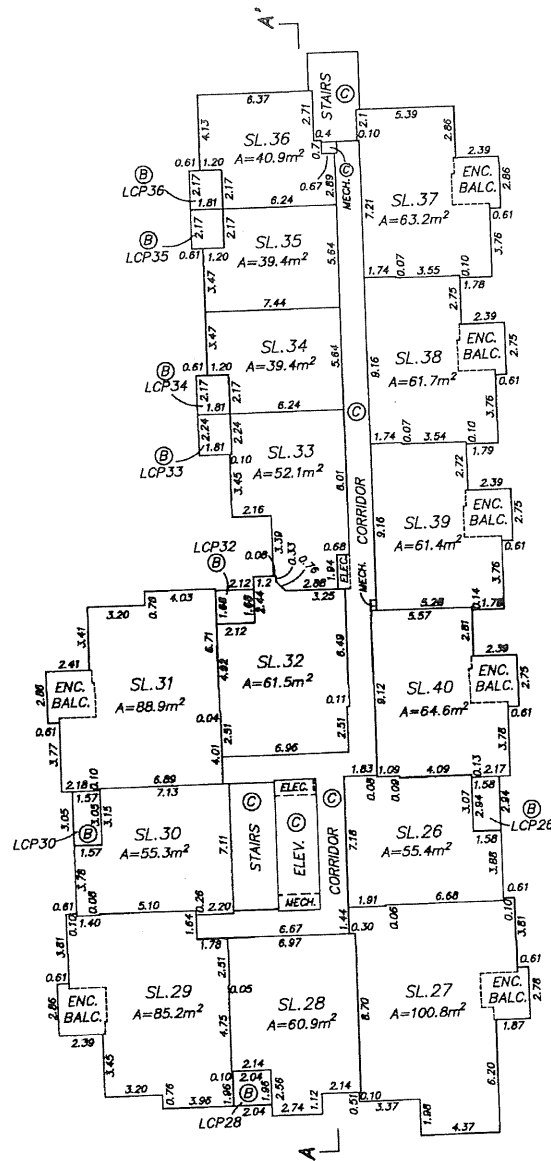
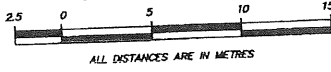


SHEET 8 OF 19 SHEETS

STRATA PLAN BCS 404

3rd FLOOR PLAN

SCALE 1 : 250



DATED THIS 10th DAY OF
APRIL, 2003

[Signature] B.C.L.S.
FILE: NEXUS: LOT7D-P2
DISK: 215

Plan #: BCS404 App #: N/A Ctrl #:

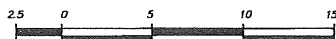
Status: Filed

SHEET 9 OF 19 SHEETS

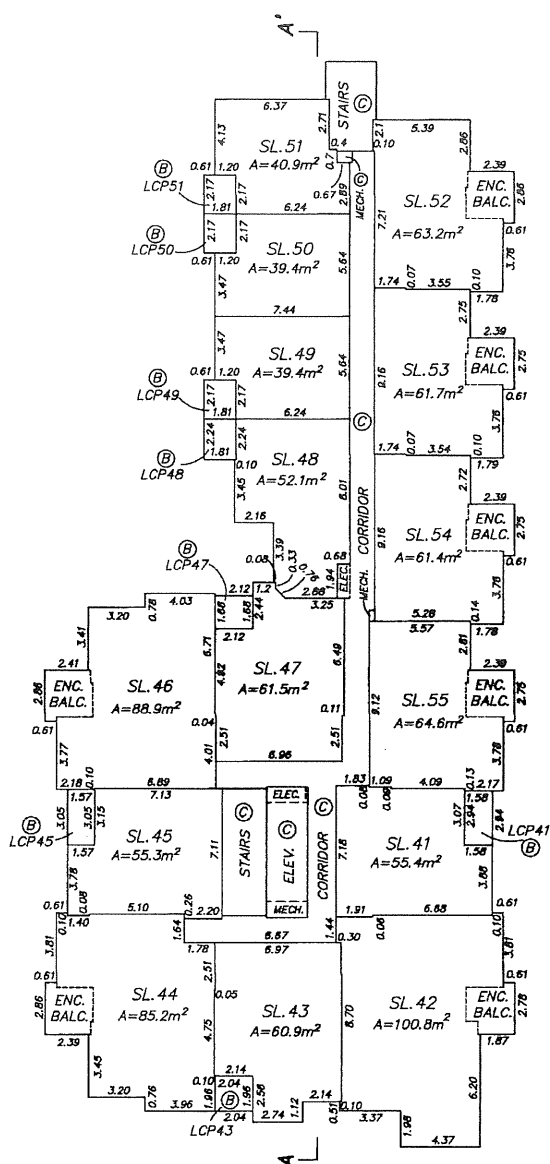
4th FLOOR PLAN

STRATA PLAN BCS 404

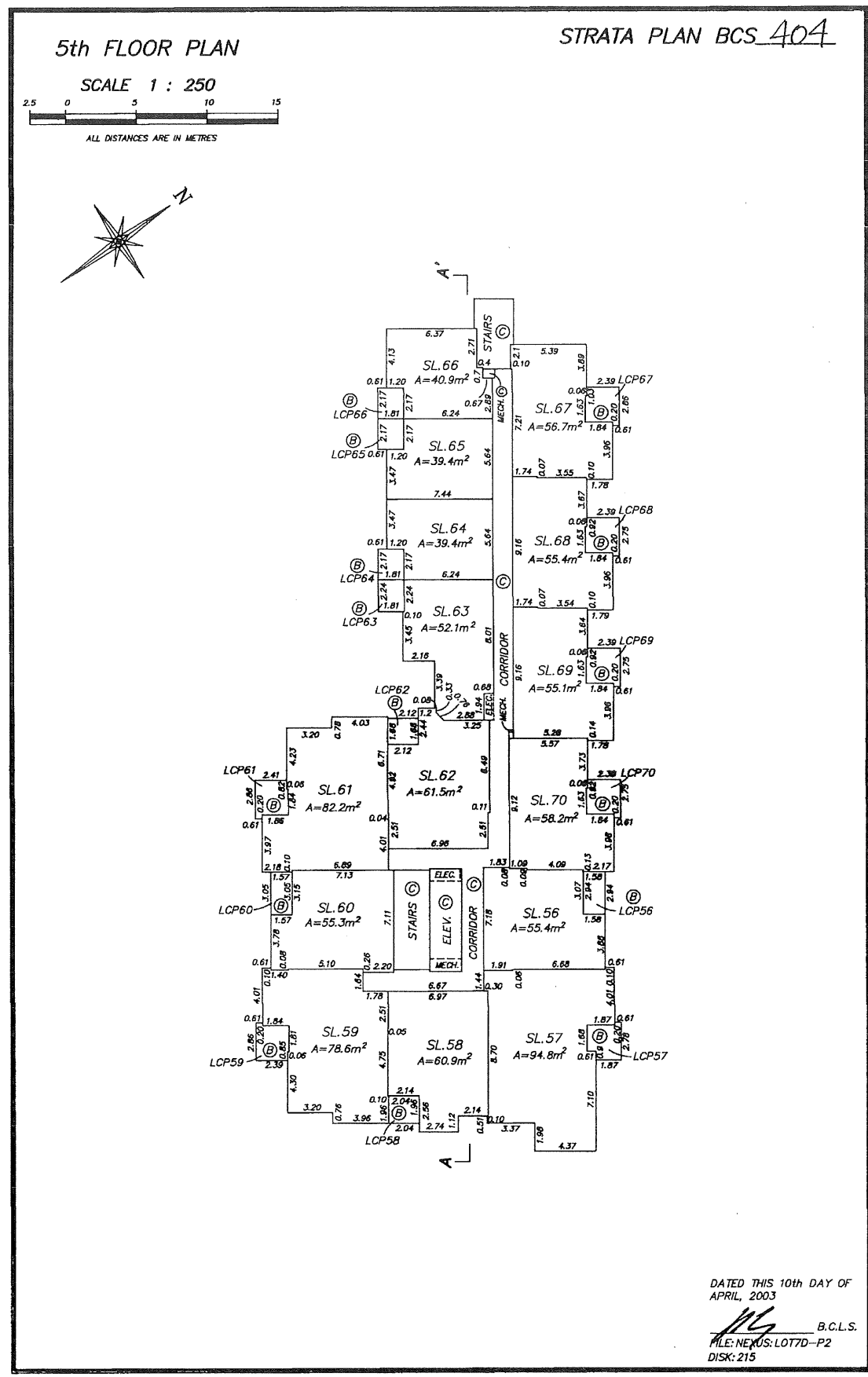
SCALE 1 : 250



ALL DISTANCES ARE IN METRES

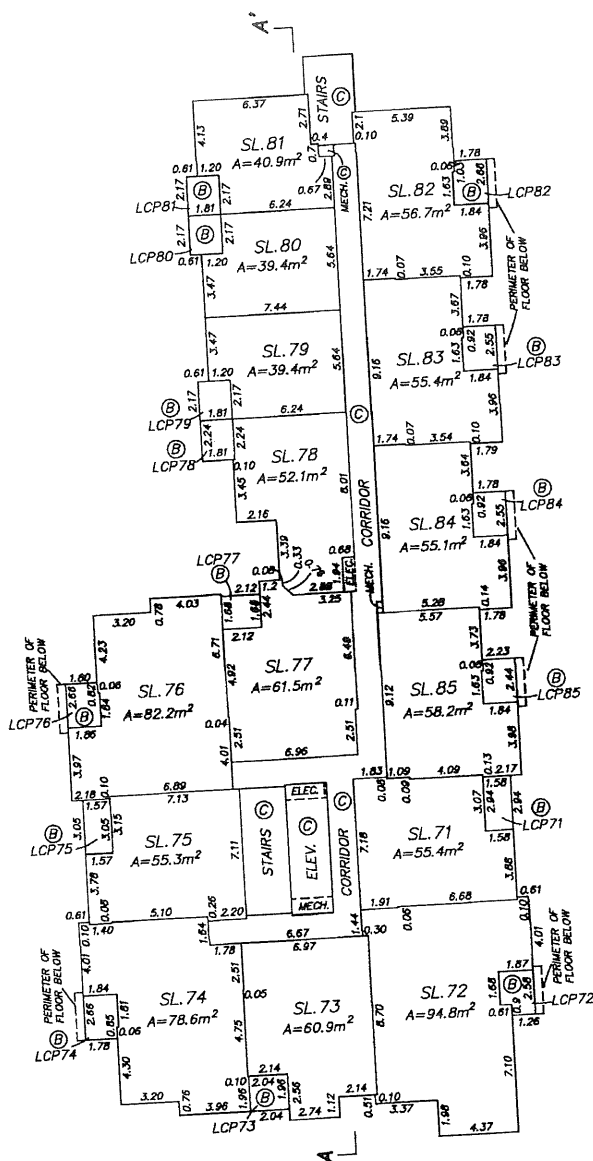
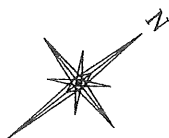
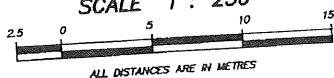
DATED THIS 10th DAY OF
APRIL, 2003

 B.C.L.S.
 FILE: NEXUS: LOT70-P2
 DISK: 215



STRATA PLAN BCS 404

SCALE 1 : 250



B.C.L.S.
FRE: NEXUS: LOT7D-P2
DISK: 215

Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed

RCVD: 2003-06-27 RQST: 2025-08-27 14.10.33

Plan #: BCS404 App #: N/A Ctrl #:

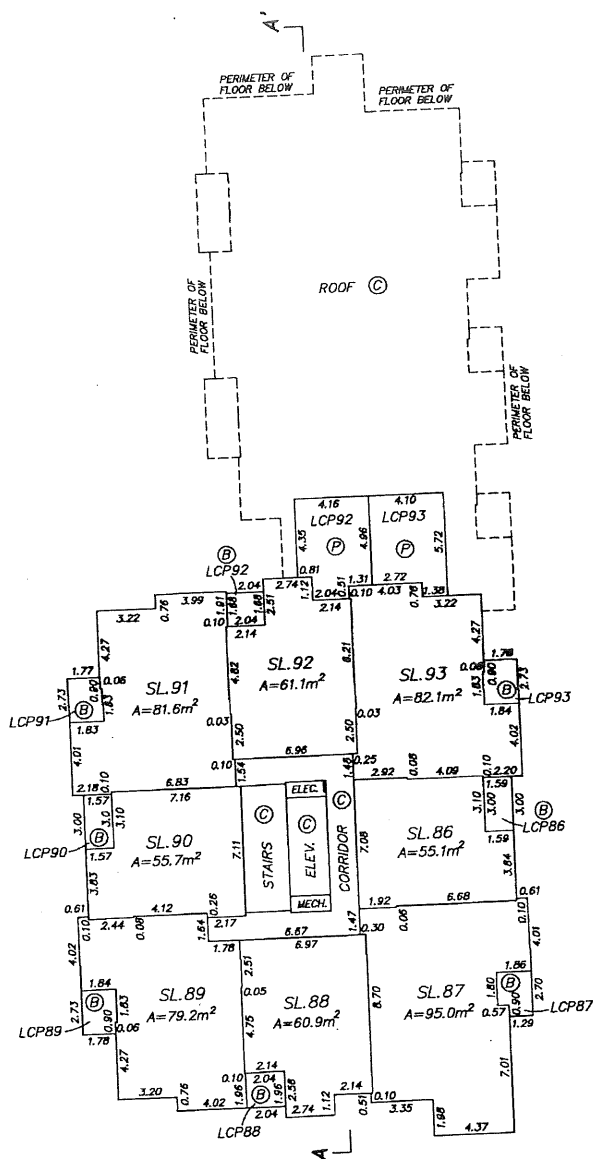
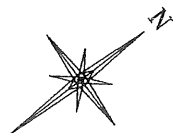
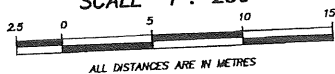
Status: Filed

SHEET 12 OF 19 SHEETS

STRATA PLAN BCS 404

7th FLOOR PLAN

SCALE 1 : 250



DATED THIS 10th DAY OF
APRIL, 2003

[Signature] B.C.L.S.
FILE: NEXUS: LOT7D-P2
DISK: 215

RCVD: 2003-06-27 RQST: 2025-08-27 14.10.33

Plan #: BCS404 App #: N/A Ctrl #:

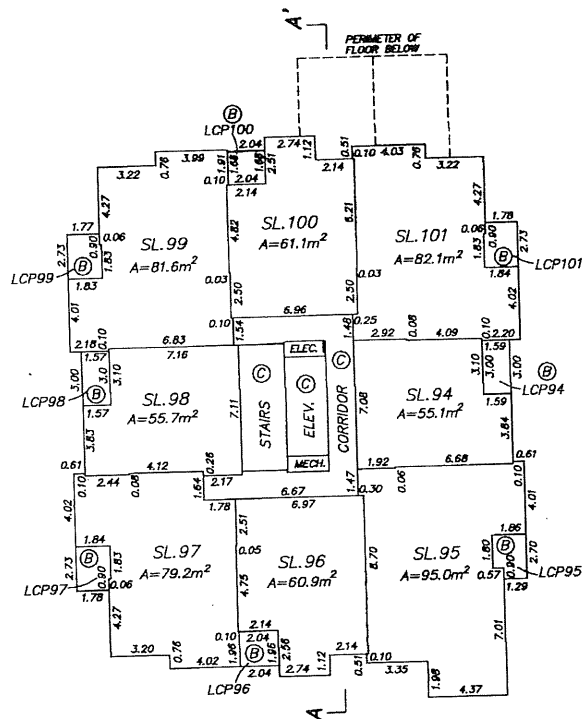
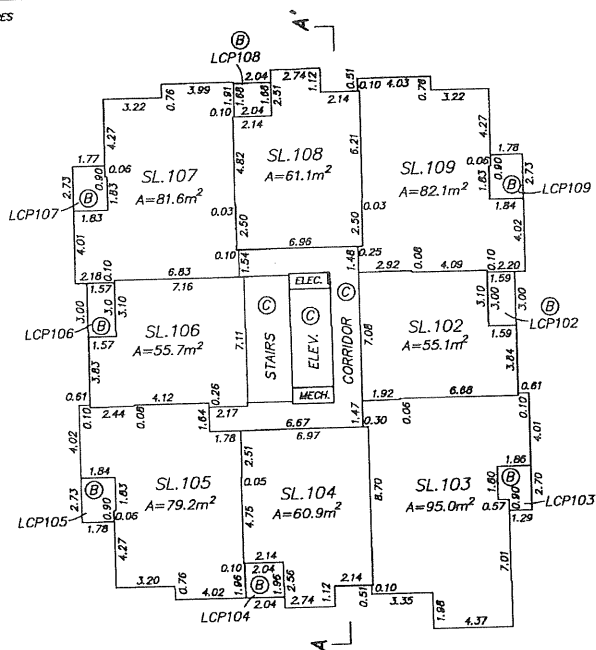
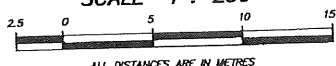
Status: Filed

SHEET 13 OF 19 SHEETS

STRATA PLAN BCS 404

FLOOR PLANS

SCALE 1 : 250



DATED THIS 10th DAY OF
APRIL, 2003

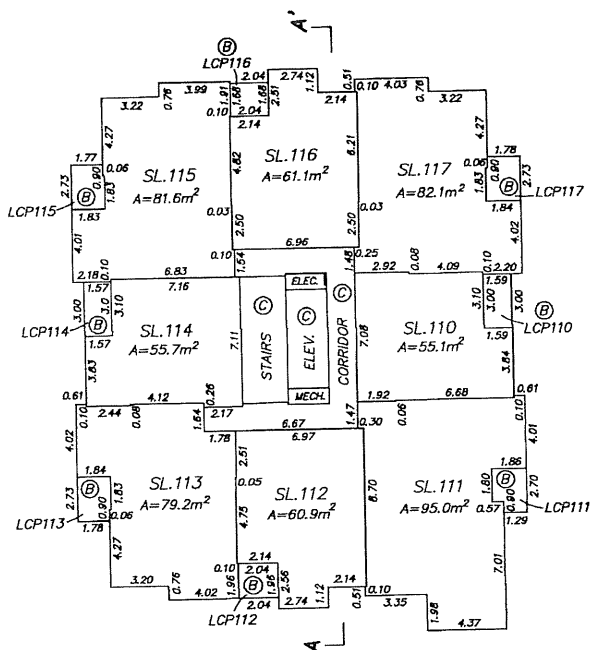
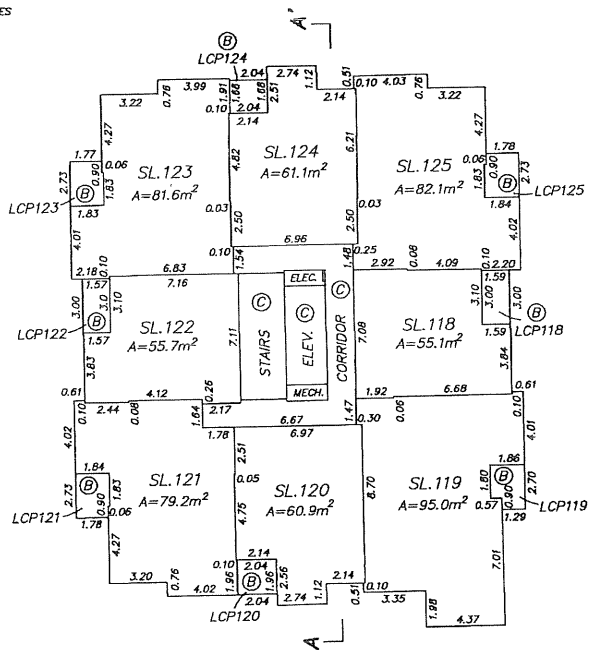
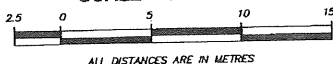
B.C.L.S.
FILE: NEXUS: LOT7D-P2
DISK: 215

SHEET 14 OF 19 SHEETS

STRATA PLAN BCS404

FLOOR PLANS

SCALE 1 : 250



DATED THIS 10th DAY OF
APRIL, 2003

B.C.L.S.
FILE: NEXUS: LOT7D-P2
DISK: 215

RCVD: 2003-06-27 RQST: 2025-08-27 14:10.33

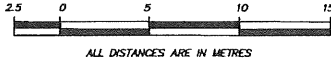
Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed

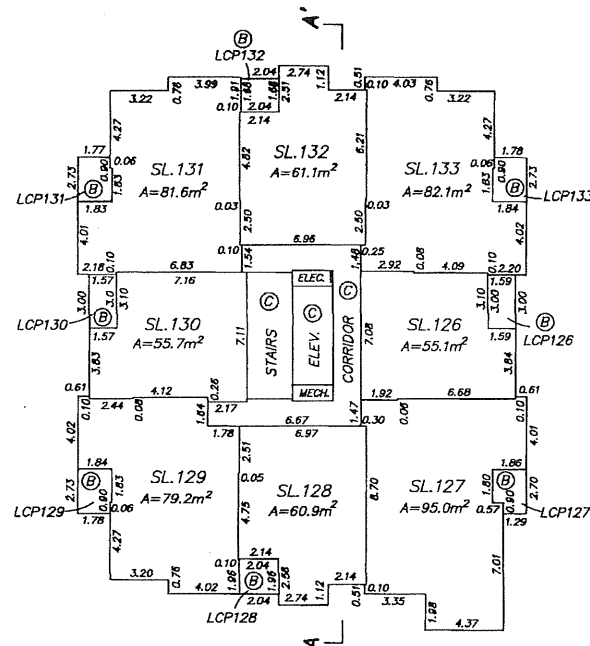
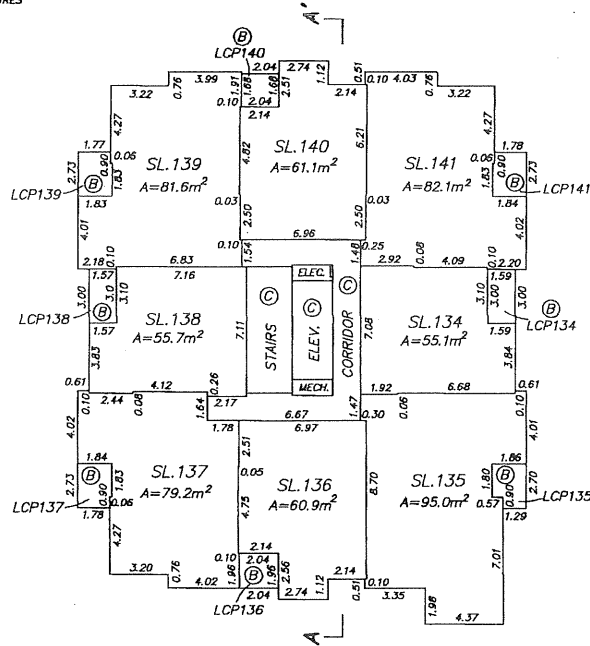
SHEET 15 OF 19 SHEETS

FLOOR PLANS

SCALE 1 : 250



STRATA PLAN BCS 404



DATED THIS 10th DAY OF
APRIL, 2003

B.C.L.S.
FILE NEXUS: L0170-P2
DISK: 215

Plan #: BCS404 App #: N/A Ctrl #:

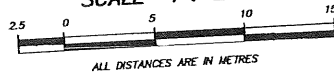
Status: Filed

SHEET 16 OF 19 SHEETS

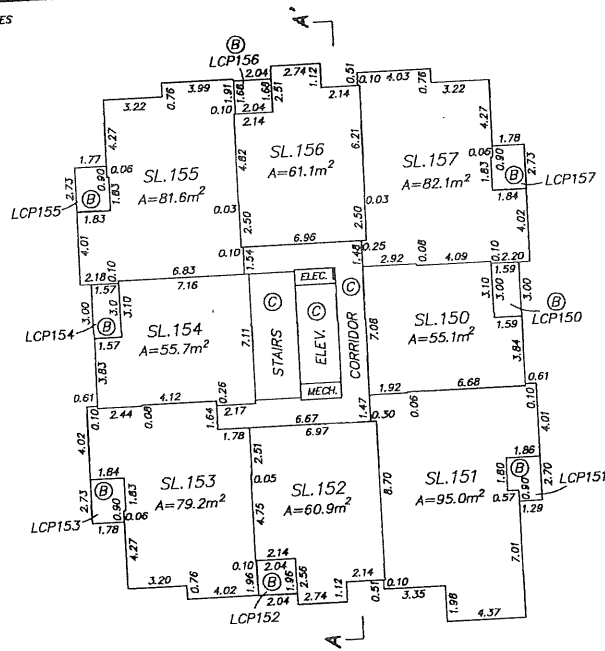
STRATA PLAN BCS 404

FLOOR PLANS

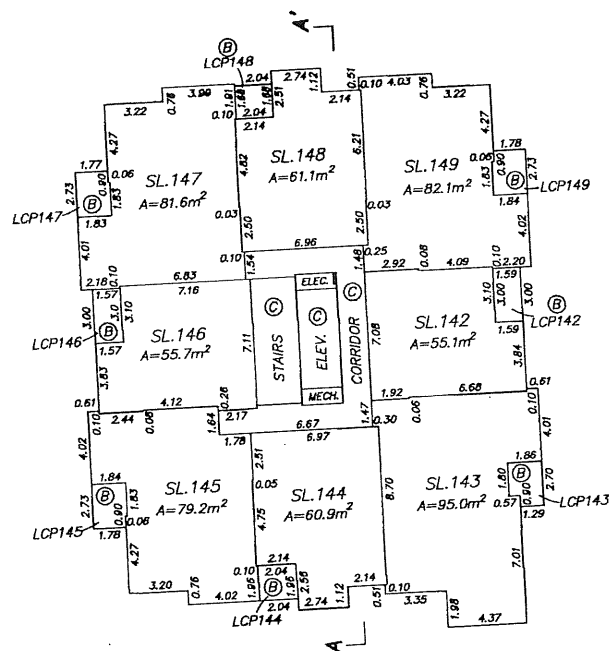
SCALE 1 : 250



ALL DISTANCES ARE IN METRES



16th FLOOR



15th FLOOR

NOTE: 14th FLOOR HAS BEEN OMITTED.

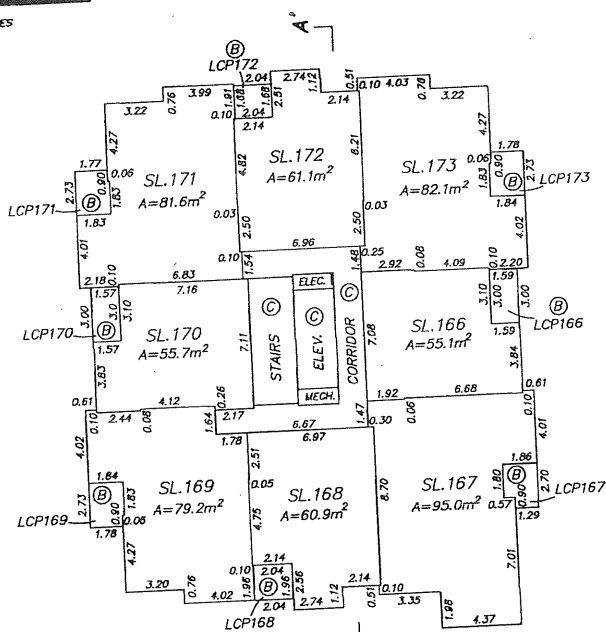
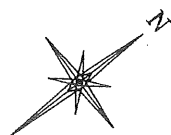
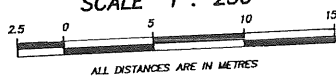
DATED THIS 10th DAY OF
APRIL, 2003
B.C.L.S.
FILE: NEXUS: LOT70-P2
DISK: 215

SHEET 17 OF 19 SHEETS

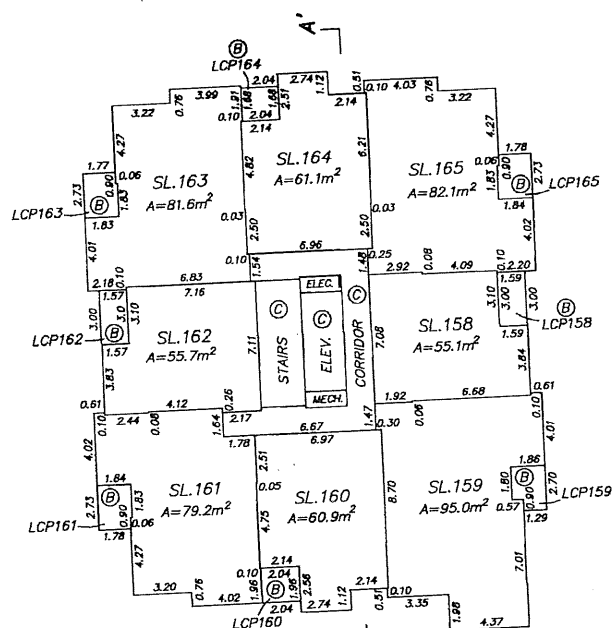
STRATA PLAN BCS 404

FLOOR PLANS

SCALE 1 : 250



18th FLOOR



17th FLOOR

DATED THIS 10th DAY OF
APRIL, 2003B.C.L.S.
FILE: NEUS: LOT7D-P2
DISK: 215

RCVD: 2003-06-27 RQST: 2025-08-27 14:10:33

Plan #: BCS404 App #: N/A Ctrl #:

Status: Filed

RCVD: 2003-06-27 RQST: 2025-08-27 14.10.33

Plan #: BCS404 App #: N/A Ctrl #:

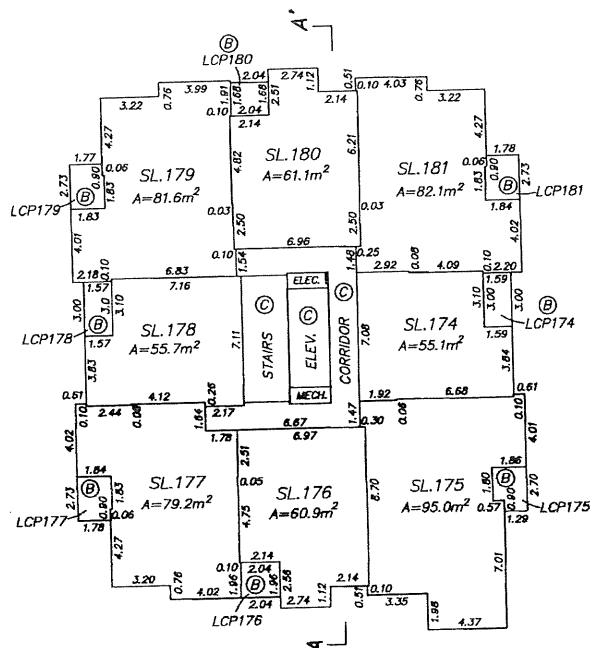
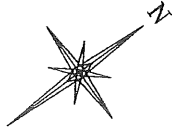
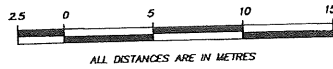
Status: Filed

SHEET 18 OF 19 SHEETS

STRATA PLAN BCS 404

FLOOR PLANS

SCALE 1 : 250

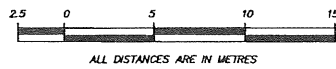
DATED THIS 10th DAY OF
APRIL, 2003

B.C.L.S.
C.E. NEXUS: LOT7D-P2
DISK: 215

SHEET 19 OF 19 SHEETS

SECTION A - A'

SCALE 1 : 250



ALL DISTANCES ARE IN METRES

STRATA PLAN BCS 404

	SL. 176	CORRIDOR (C)	SL. 180					(P) LOP92	(C) ROOF	
19th FLOOR										
18th FLOOR	SL. 168	CORRIDOR (C)	SL. 172							
17th FLOOR	SL. 160	CORRIDOR (C)	SL. 164							
16th FLOOR	SL. 152	CORRIDOR (C)	SL. 156							
15th FLOOR	SL. 144	CORRIDOR (C)	SL. 148							
13th FLOOR	SL. 136	CORRIDOR (C)	SL. 140							
12th FLOOR	SL. 128	CORRIDOR (C)	SL. 132							
11th FLOOR	SL. 120	CORRIDOR (C)	SL. 124							
10th FLOOR	SL. 112	CORRIDOR (C)	SL. 116							
9th FLOOR	SL. 104	CORRIDOR (C)	SL. 108							
8th FLOOR	SL. 96	CORRIDOR (C)	SL. 100							
7th FLOOR	SL. 88	CORRIDOR (C)	SL. 92							
6th FLOOR	SL. 73	CORRIDOR (C)	SL. 77							SL. 81
5th FLOOR	SL. 58	CORRIDOR (C)	SL. 62							SL. 66
4th FLOOR	SL. 43	CORRIDOR (C)	SL. 47							SL. 51
3rd FLOOR	SL. 28	CORRIDOR (C)	SL. 32							SL. 36
2nd FLOOR	SL. 13	CORRIDOR (C)	SL. 17							SL. 21
GROUND FLOOR	SL. 2	LOBBY (C)	SL. 3							SL. 6
LEVEL P1	BICYCLE & LOCKERS (C)	CORRIDOR (C)							PARKING (C)	
LEVEL P2	BICYCLE & LOCKERS (C)	CORRIDOR (C)							PARKING (C)	
LEVEL P3		CORRIDOR (C)							PARKING (C)	
		VOID (C)								

NOTE: 14th FLOOR HAS BEEN OMITTED.

DATED THIS 10th DAY OF
APRIL, 2003

FILED NEXUS: LOT7D-P2
DISK: 215

B.C.L.S.

Status: Filed

Doc #: BV243844

RCVD: 2003-06-27 RQST: 2025-08-6214.36.38

27 JUN 2003 15 06

BV243844

Vancouver, B.C.

Date: June 27, 2003

1 DF
FREE

Registrar
Lower Mainland Land Title Office
New Westminster, B.C.

This is Exhibit "F" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025



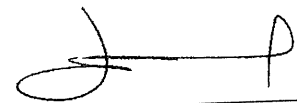
A Commissioner for taking Affidavits
within British Columbia.

Please receive herewith the following document(s) for filing:

Form V – Strata Plan BCS 404

44 03/06/27 15:08:33 02 LM
DOC FILE FREE

469111
\$0.00



Jacqueline Leung
Real Property Legal Assistant
McCarthy Tétrault LLP
Barristers and Solicitors
1300 – 777 Dunsmuir Street
Vancouver, B.C. V7Y 1K2
(604) 643-7133

(LTO Client No. 010452)

DYE & DURHAM CLIENT No. 11061
SURVEY DEPT.

VDO_DOCS #1229563 v. 1

4/6

STRATA PROPERTY ACT FORM V SCHEDULE OF UNIT ENTITLEMENT

(SECTION 245 (a), 246, 264)

RE: STRATA PLAN BCS 404 BEING A STRATA PLAN OF LOT 1,
BLOCKS B, H AND I, D.L. 36, GROUP 1, N.W.D., PLAN LMP51592

STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS

THE UNIT ENTITLEMENT FOR EACH RESIDENTIAL STRATA LOT IS ONE OF THE FOLLOWING [CHECK APPROPRIATE BOX], AS SET OUT IN THE FOLLOWING TABLE:

- ☒ (a) THE HABITABLE AREA OF THE STRATA LOT, IN SQUARE METRES, ROUNDED TO THE NEAREST WHOLE NUMBER AS DETERMINED BY A BRITISH COLUMBIA LAND SURVEYOR AS SET OUT IN SECTION 246 (3) (a) (i) OF THE STRATA PROPERTY ACT.

CERTIFICATE OF BRITISH COLUMBIA LAND SURVEYOR

I, DIETER SOUKUP, A BRITISH COLUMBIA LAND SURVEYOR, CERTIFY THAT THE FOLLOWING TABLE REFLECTS THE HABITABLE AREA OF EACH RESIDENTIAL STRATA LOT.
DATED THIS 10th DAY OF MARCH, 2003

SIGNATURE

- OR ☐ (b) A WHOLE NUMBER THAT IS THE SAME FOR ALL OF THE RESIDENTIAL STRATA LOTS AS SET OUT IN SECTION 246 (3) (a) (ii) OF THE STRATA PROPERTY ACT.
- OR ☐ (c) A NUMBER THAT IS APPROVED BY THE SUPERINTENDENT OF REAL ESTATE IN ACCORDANCE WITH SECTION 246 (3) (a) (iii) OF THE STRATA PROPERTY ACT.

SIGNATURE OF SUPERINTENDENT OF REAL ESTATE

STRATA LOT No.	SHEET No.	HABITABLE AREA IN SQUARE METRES	AREA(SQFT)	UNIT ENTITLEMENT	% OF UNIT ENTITLEMENT
1	6	101.5	1093	102	0.852
2	6	51.8	558	52	0.433
3	6	62.6	674	63	0.525
4	6	52.1	561	52	0.433
5	6	39.4	424	39	0.325
6	6	39.4	424	39	0.325
7	6	40.7	438	41	0.342
8	6	63.2	680	63	0.525
9	6	61.7	664	62	0.517
10	6	61.4	661	61	0.508
11	6	65.1	701	65	0.542

SOUKUP LAND SURVEYING INC.
#201 - 8484 - 162 STREET,
SURREY, B.C. V4N 1B4
TEL 597 6161 FAX 597 0259
FILE:NEXUS:LOT7D-P1 DISK:214

CONTINUED PAGE 2

STRATA LOT No.	SHEET No.	HABITABLE AREA IN SQUARE METRES	AREA(SQFT)	UNIT ENTITLEMENT	% OF UNIT ENTITLEMENT
12	7	101.5	1093	102	0.852
13	7	60.9	656	61	0.508
14	7	85.2	917	85	0.709
15	7	55.3	595	55	0.458
16	7	88.9	957	89	0.742
17	7	61.5	662	62	0.517
18	7	52.1	561	52	0.433
19	7	39.4	424	39	0.325
20	7	39.4	424	39	0.325
21	7	40.8	439	41	0.342
22	7	63.2	680	63	0.525
23	7	61.7	664	62	0.517
24	7	61.4	661	61	0.508
25	7	65.3	703	65	0.542
26	8	55.4	596	55	0.458
27	8	100.8	1085	101	0.842
28	8	60.9	656	61	0.508
29	8	85.2	917	85	0.709
30	8	55.3	595	55	0.458
31	8	88.9	957	89	0.742
32	8	61.5	662	62	0.517
33	8	52.1	561	52	0.433
34	8	39.4	424	39	0.325
35	8	39.4	424	39	0.325
36	8	40.9	440	41	0.342
37	8	63.2	680	63	0.525
38	8	61.7	664	62	0.517
39	8	61.4	661	61	0.508
40	8	64.6	695	65	0.542
41	9	55.4	596	55	0.458
42	9	100.8	1085	101	0.842
43	9	60.9	656	61	0.508
44	9	85.2	917	85	0.709
45	9	55.3	595	55	0.458
46	9	88.9	957	89	0.742
47	9	61.5	662	62	0.517
48	9	52.1	561	52	0.433
49	9	39.4	424	39	0.325
50	9	39.4	424	39	0.325
51	9	40.9	440	41	0.342
52	9	63.2	680	63	0.525
53	9	61.7	664	62	0.517
54	9	61.4	661	61	0.508
55	9	64.6	695	65	0.542

SOUKUP LAND SURVEYING INC.
 #201 - 8484 - 162 STREET,
 SURREY, B.C., VAN 1B4
 TEL 597 6161 FAX 597 0259
 FILE: NEXUS: LOT7D-P1 DISK: 214

CONTINUED PAGE 3

STRATA LOT No.	SHEET No.	HABITABLE AREA IN SQUARE METRES	AREA(SQFT)	UNIT ENTITLEMENT	% OF UNIT ENTITLEMENT
56	10	55.4	596	55	0.458
57	10	94.8	1020	95	0.792
58	10	60.9	656	61	0.508
59	10	78.6	846	79	0.658
60	10	55.3	595	55	0.458
61	10	82.2	885	82	0.684
62	10	61.5	662	62	0.517
63	10	52.1	561	52	0.433
64	10	39.4	424	39	0.325
65	10	39.4	424	39	0.325
66	10	40.9	440	41	0.342
67	10	56.7	610	57	0.475
68	10	55.4	596	55	0.458
69	10	55.1	593	55	0.458
70	10	58.2	626	58	0.483
71	11	55.4	596	55	0.458
72	11	94.8	1020	95	0.792
73	11	60.9	656	61	0.508
74	11	78.6	846	79	0.658
75	11	55.3	595	55	0.458
76	11	82.2	885	82	0.684
77	11	61.5	662	62	0.517
78	11	52.1	561	52	0.433
79	11	39.4	424	39	0.325
80	11	39.4	424	39	0.325
81	11	40.9	440	41	0.342
82	11	56.7	610	57	0.475
83	11	55.4	596	55	0.458
84	11	55.1	593	55	0.458
85	11	58.2	626	58	0.483
86	12	55.1	593	55	0.458
87	12	95.0	1023	95	0.793
88	12	60.9	656	61	0.508
89	12	79.2	853	79	0.658
90	12	55.7	600	56	0.467
91	12	81.6	878	82	0.684
92	12	61.1	658	61	0.508
93	12	82.1	884	82	0.684
94	13	55.1	593	55	0.458
95	13	95.0	1023	95	0.793
96	13	60.9	656	61	0.508
97	13	79.2	853	79	0.658
98	13	55.7	600	56	0.467
99	13	81.6	878	82	0.684

SOUKUP LAND SURVEYING INC.
 #201 - 8484 - 162 STREET,
 SURREY, B.C., V4N 1B4
 TEL 597 6161 FAX 597 0259
 FILE: NEXUS: LOT7D-P1 DISK: 214

CONTINUED PAGE 4

STRATA LOT No.	SHEET No.	HABITABLE AREA IN SQUARE METRES	AREA(SQFT)	UNIT ENTITLEMENT	% OF UNIT ENTITLEMENT
100	13	61.1	658	61	0.508
101	13	82.1	884	82	0.684
102	13	55.1	593	55	0.458
103	13	95.0	1023	95	0.793
104	13	60.9	656	61	0.508
105	13	79.2	853	79	0.658
106	13	55.7	600	56	0.467
107	13	81.6	878	82	0.684
108	13	61.1	658	61	0.508
109	13	82.1	884	82	0.684
110	14	55.1	593	55	0.458
111	14	95.0	1023	95	0.793
112	14	60.9	656	61	0.508
113	14	79.2	853	79	0.658
114	14	55.7	600	56	0.467
115	14	81.6	878	82	0.684
116	14	61.1	658	61	0.508
117	14	82.1	884	82	0.684
118	14	55.1	593	55	0.458
119	14	95.0	1023	95	0.793
120	14	60.9	656	61	0.508
121	14	79.2	853	79	0.658
122	14	55.7	600	56	0.467
123	14	81.6	878	82	0.684
124	14	61.1	658	61	0.508
125	14	82.1	884	82	0.684
126	15	55.1	593	55	0.458
127	15	95.0	1023	95	0.793
128	15	60.9	656	61	0.508
129	15	79.2	853	79	0.658
130	15	55.7	600	56	0.467
131	15	81.6	878	82	0.684
132	15	61.1	658	61	0.508
133	15	82.1	884	82	0.684
134	15	55.1	593	55	0.458
135	15	95.0	1023	95	0.793
136	15	60.9	656	61	0.508
137	15	79.2	853	79	0.658
138	15	55.7	600	56	0.467
139	15	81.6	878	82	0.684
140	15	61.1	658	61	0.508
141	15	82.1	884	82	0.684
142	16	55.1	593	55	0.458
143	16	95.0	1023	95	0.793

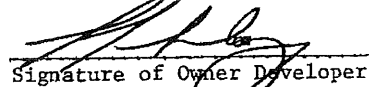
SOUKUP LAND SURVEYING INC.
 #201 - 8484 - 162 STREET,
 SURREY, B.C., V4N 1B4
 TEL 597 6161 FAX 597 0259
 FILE: NEXUS: LOT7D-P1 DISK: 214

CONTINUED PAGE 5

PAGE 5

STRATA LOT No.	SHEET No.	HABITABLE AREA IN SQUARE METRES	AREA(SQFT)	UNIT ENTITLEMENT	% OF UNIT ENTITLEMENT
144	16	60.9	656	61	0.508
145	16	79.2	853	79	0.658
146	16	55.7	600	56	0.467
147	16	81.6	878	82	0.684
148	16	61.1	658	61	0.508
149	16	82.1	884	82	0.684
150	16	55.1	593	55	0.458
151	16	95.0	1023	95	0.793
152	16	60.9	656	61	0.508
153	16	79.2	853	79	0.658
154	16	55.7	600	56	0.467
155	16	81.6	878	82	0.684
156	16	61.1	658	61	0.508
157	16	82.1	884	82	0.684
158	17	55.1	593	55	0.458
159	17	95.0	1023	95	0.793
160	17	60.9	656	61	0.508
161	17	79.2	853	79	0.658
162	17	55.7	600	56	0.467
163	17	81.6	878	82	0.684
164	17	61.1	658	61	0.508
165	17	82.1	884	82	0.684
166	17	55.1	593	55	0.458
167	17	95.0	1023	95	0.793
168	17	60.9	656	61	0.508
169	17	79.2	853	79	0.658
170	17	55.7	600	56	0.467
171	17	81.6	878	82	0.684
172	17	61.1	658	61	0.508
173	17	82.1	884	82	0.684
174	18	55.1	593	55	0.458
175	18	95.0	1023	95	0.793
176	18	60.9	656	61	0.508
177	18	79.2	853	79	0.658
178	18	55.7	600	56	0.467
179	18	81.6	878	82	0.684
180	18	61.1	658	61	0.508
181	18	82.1	884	82	0.684
TOTAL NUMBER OF STRATA LOTS 181			TOTAL UNIT ENTITLEMENT OF STRATA LOTS: 11997		

Date: June 26, 2003.

CROWLEY DRIVE HOLDINGS LTD.
by its authorized signatory:


Signature of Owner Developer

 SOUKUP LAND SURVEYING INC.
 #201 - 8484 - 162 STREET,
 SURREY, B.C., V4N 1B4
 TEL 597 6161 FAX 597 0259
 FILE: NEXUS: LOT7D-P1 DISK: 214

* expression of percentage is for informational purposes only and has no legal effect

** not required for a phase of a phased strata plan



City of Vancouver *Zoning and Development By-law*
 Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 604.873.7060
 planning@vancouver.ca

This is Exhibit "G" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits within British Columbia.

CD-1 (314)

3400-3600 Vanness, Foster and Euclid Streets

By-law No. 7204

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective November 2, 1993

(Amended up to and including By-law No. 9674, dated June 24, 2008)

Guidelines:

Joyce/Vanness

CD-1 Guidelines

1 [Section 1 is not reprinted here. It contains a Standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1, and repeals By-law No. 7203.]

2 In this By-law:

“City Engineer” means the person who from time to time is appointed by the Council to be the City Engineer, and his Deputy.

“Council” means the Council of the City of Vancouver.

“Director of Legal Services” means the person who from time to time is appointed by the Council to be the Director of Legal Services, and his Deputy.

“Director of Planning” means the person who from time to time is appointed by the Council to be the Director of Planning, and his Deputy.

“General Manager of the Board of Parks and Recreation” is the person who from time to time is appointed by the Board of Parks and Recreation to be the General Manager of the Board of Parks and Recreation, and any person authorized by that Board to carry out the duties of the General Manager.

3 The area shown included within the heavy black outline on Schedule “A” is rezoned pursuant to Section 565(l)(f) of the **Vancouver Charter** and shall be more particularly described as CD-1(314).

4 This by-law is enacted on the fundamental basis that the Development Plan hereunto annexed as Schedule “B”, and each of its provisions, will be complied with, the soils within the lands will be remediated to all applicable statutory standards, and the amenities, facilities, utilities, services and land described in Schedule “C” will be provided at no cost to the City.

5 The Development Plan is an integral part of this By-law. Each and every provision contained in this By-law is necessary and interdependent, so that, if any provision is quashed or declared to be unlawful, or of no force or effect, such provision will not be severable and in such case Council desires the entire by-law including section 1(b) be quashed with the result that CD-1 (314) shall be zoned pursuant to By-law No. 7203.

6 Nothing in this by-law or the Development Plan fetters the discretion or authority bestowed upon the Approving Officer, and any applicant for subdivision is bound by a decision of the Approving Officer and is required to fulfill any condition he may impose as a condition of approval.

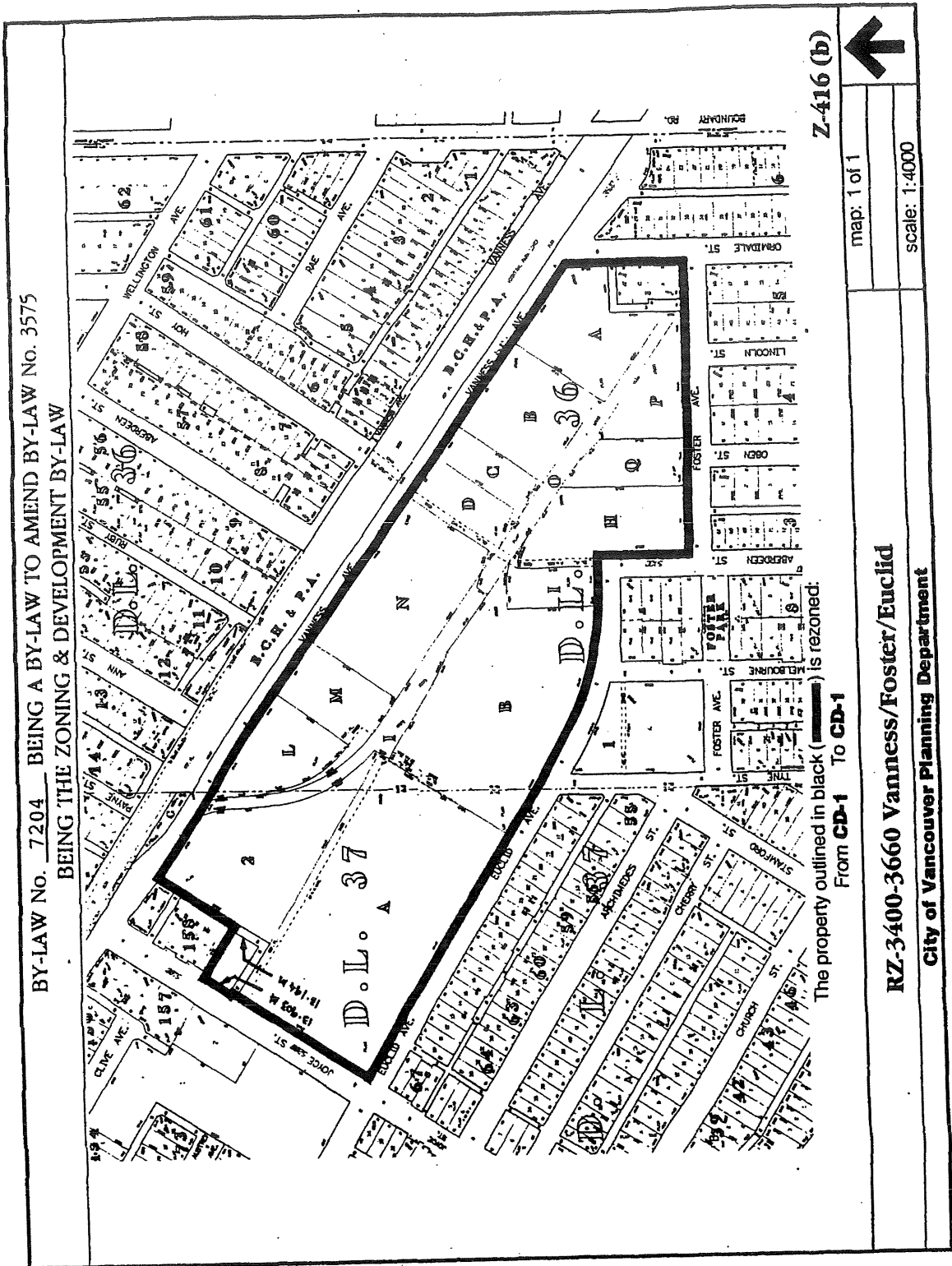
7 The amenities, facilities, utilities, services and land therefor described in Schedule “C” or security therefor as prescribed by the Director of Legal Services, shall be provided to the City at no cost to the City on or before the time set for completion set forth beside each individually described work.

8 The only uses permitted within CD-1 (314) and the only uses for which development permits may be issued, are those set forth in section 3 of the Development Plan, subject to the form, location and any special characteristics being in conformity with the Development Plan and applicable policies and guidelines adopted by Council, and subject to such other conditions not inconsistent therewith which the Development Permit Board in its discretion may prescribe.

9 Any person wishing to carry out any development in CD-1 (314) shall submit such plans and specifications as may be required by the Director of Planning and obtain the approval of the Development Permit Board or the Director of Planning, as the case may be.

Note: Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 7204 or provides an explanatory note.

- 10** Subject to section 6 of this By-law, the Development Permit Board may exercise the discretion to approve or reject any form of development for which application is made and to exercise the discretion to issue or withhold any Development Permit.
- 11** The Development Permit Board shall not approve any form of development or issue any Development Permit:
- (a) unless the form of development complies with the Development Plan and any applicable policies or guidelines adopted by Council;
 - (b) until the City has been provided with those amenities, facilities, utilities, services and land which, by Schedule "C", are scheduled to be provided prior to the development of the land in respect of which the application for a Development Permit has been made, or until an agreement, or agreements, satisfactory to the City Engineer and the Director of Legal Services are entered into ensuring the provision of those amenities, facilities, utilities, services and land therefor. The amenities, facilities, services and utilities shall be constructed to the specifications established by the City Engineer and shall not be considered to have been provided until Accepted by the City Engineer. Land provided to the City shall be remediated to a standard established by the City Engineer, or in the case of land for parks, by the General Manager of the Board of Parks and Recreation, and shall not be considered to have been provided until so remediated. Prior to commencing construction of any amenity, facility, service or utility, the applicant for the Development Permit shall provide such warranties, security and indemnities in respect of the construction of the works as the City Engineer and the Director of Legal Services may require. At the time of providing any land to the City, the applicant for the development permit shall provide such indemnity with respect to liability for damage caused by contamination on or flowing from such land, both before and after its provision, as may be required by the Director of Legal Services; and
 - (c) until the soils within the applicable Phase as defined in the Development Plan, together with surrounding soils which contaminate or could contaminate the soils within the site, have been remediated to all applicable statutory standards, or an agreement to remediate, with provisions for security and indemnity satisfactory to the City Engineer and the Director of Legal Services, has been entered into providing for soils remediation.
- 12** Any development permit issued shall contain such conditions as the Development Permit Board shall lawfully require pursuant to subsections (b) and (d) of Section 565A of the **Vancouver Charter**.
- 13** That hereunto annexed as Schedule "B" is the Development Plan which regulates the use and development of the property within CD-1(314). Any person using or developing property within the District shall comply with that Plan.
- 14** Except for matters otherwise specifically provided for in this By-law all provisions of By-law No. 3575 apply to the area governed by this By-law.
- 15** *[Section 15 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signature to pass the by-law and certify the by-law number and date of enactment.]*



**This is Schedule "B" to
By-law No. 7204**

**Development Plan
of CD-1 (314)**

The Development Plan contains the regulations for the development of the Comprehensive Development District known as CD-1 (314).

Any application for development or use must comply with the Development Plan, generally as illustrated in Figures 1 and 2.

1 Intent

The intent of this Development Plan is to permit the development of the Collingwood Village site with residential use and some local retail, office and service uses in a form which complements and is compatible with the character of adjacent areas.

Development on the site shall be consistent with the following objectives:

- (a) achieve a built form which is complementary to the form of adjacent areas and yet creates its own special character and sense of place;
- (b) provide retail, service and office uses primarily along Joyce Street and integrate new development with existing development;
- (c) minimize loss of important views;
- (d) achieve the maximum number of housing units, consistent with the principles of livability and other social and environmental objectives;
- (e) achieve a diversity of population in terms of age, household types and income groups;
- (f) develop adequate community and recreation facilities to primarily serve the residents of Collingwood Village and the adjacent community, but which also serves to integrate Collingwood Village with the adjacent community;
- (g) provide adequate on-site parking and loading spaces for all developments within Collingwood Village;
- (h) provide an open space system and local parks which meet local recreational needs and provide visual enjoyment for residents and visitors;
- (i) provide pedestrian links to adjacent areas; and
- (j) allow for the gradual phasing out of the existing industrial uses.

2 Definitions

Words used in this Development Plan shall have the meaning assigned to them in the Zoning and Development By-law, except as provided below.

Community Gymnasium means a gymnasium with facilities for community use.

Interim Use means any use not specifically listed in this By-law and intended to be of only temporary duration.

3 Uses

The only uses for which development permits will be issued are:

- (a) A maximum of 2,800 dwelling units, not exceeding 192 000 m² in total gross floor area, provided in multiple dwellings or in conjunction with any of the uses listed below, provided that:
 - (i) a minimum of 20 percent of the units (including the family rental units provided under clause (ii) below) shall be for family housing, of which each two-bedroom dwelling unit shall have a minimum gross floor area of 74 m² and each three-bedroom dwelling unit shall have a minimum gross floor area of 90 m²; and

- (ii) a minimum of 20 percent of the units shall be for rental use only, secured by an agreement acceptable to the City, and of these rental units a minimum of 20 percent shall be for family housing. [8340; 01 06 05]
 - (b) Retail Uses, but not including Furniture or Appliance Store, Gasoline Station - Full Serve, Gasoline Station - Split Island, Liquor Store, Vehicle Dealer and Service Bay;
 - (c) Service Uses, but not including Auction Hall, Bed and Breakfast Accommodation, Body Rub Parlour, Cabaret, Catering Establishment, Drive-Through Service, Funeral Home, Hotel, Laboratory, Laundry or Cleaning Plant, Motor Vehicle Repair Shop, Motor Vehicle Wash, Photofinishing or Photography Laboratory, Production Studio, Repair Shop - Class A, Restaurant - Class 2, Restaurant Drive-In, and Sign Painting Shop;
 - (d) Office Uses;
 - (e) Cultural and Recreational Uses, but not including Arcade, Golf Course or Driving Range, Marina, Riding Ring, Rink, Stadium or Arena, Swimming Pool, Theatre, and Zoo or Botanical Garden;
 - (f) Institutional Uses, but not including Ambulance Station, Church, Detoxification Centre, Hospital, and School - University or College;
 - (g) Public Utility;
 - (h) Parking Uses;
 - (i) Seniors Supportive or Assisted Housing;
 - (j) Accessory Uses customarily ancillary to the above uses; and
 - (k) Interim Uses not listed above and Accessory Uses customarily ancillary thereto, provided that:
 - (i) the Development Permit Board considers that the use will be compatible with and not adversely affect adjacent development that either exists or is permitted by this By-law;
 - (ii) the Development Permit Board is satisfied that the use can be easily removed, and is of low intensity or low in capital investment;
 - (iii) the Development Permit Board is satisfied that there is no risk to the public from contaminated soils either on or adjacent to the subject site; and
 - (iv) development permits are limited in time to periods not exceeding 3 years.
- [8824; 04 04 06]

4 Phases

- 4.1 The development shall take place in four phases, approximately as illustrated in Figure 3.
- 4.2 The phases shall be developed sequentially in numerical order commencing with Phase 1 and ending with Phase 4. As long as the prescribed order is maintained, one or more phases may be developed at the same time, provided that this Development Plan and Schedule "C" to the By-law are complied with.

5 Sub-areas

The district shall comprise 10 sub-areas, approximately as illustrated in Figure 4.

6 Subdivision

Approximate parcel boundaries and areas are indicated on Figure 5. The parcel boundaries and areas are approximate and subject to being finalized by survey at the time of subdivision.

7 Floor Area and Density

- 7.1 The total floor area for uses listed in Table 1 shall not exceed the totals set opposite such uses, and any use permitted in section 3, but not listed in Table 1, is not limited by this sub-section 7.1.

Table 1

Use	Maximum Floor Area
Residential Uses	192 000 m ²
Retail, Service and Office Uses	1 200 m ²
Office, Cultural, Recreational and Institutional Uses*	1 395 m ²
Neighbourhood House	930 m ²
Community Gymnasium	740 m ²
Child Day Care Facility	650 m ²
School - Elementary	2 320 m ²

[8340; 01 06 05] [8824; 04 04 06]

* Note: This additional 1 395 m² of community service space is to be made available to social and community service organizations only.

7.2 The following shall be included in the computation of floor area:

- (a) all floors; having a minimum ceiling height of 1.2 m, including earthen floor, both above and below ground level, to be measured to the extreme outer limits of the building; and
- (b) stairways, fire escapes, elevator shafts and other features which the Director of Planning considers similar, to be measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

7.3 The following shall be excluded in the computation of floor area:

- (a) open residential balconies or sun decks and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed 8 percent of the residential floor area being provided;
- (b) patios and roof gardens for residential purposes only, provided that the Director of Planning first approves the design of sunroofs and walls;
- (c) where floors are used for off-street parking and loading, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning, are similar to the foregoing, those floors or portions thereof so used which are at or below the base surface;
- (d) amenity areas, accessory to a residential use, recreation facilities, and meeting rooms, to a maximum total of 10 percent of the total building floor area;
- (e) areas of undeveloped floors located above the highest storey or half-storey, or adjacent to a storey or half-storey, with a ceiling height of less than 1.2 m, and to which there is no permanent means of access other than a hatch; and
- (f) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit; [8760; 03 12 09]
- (g) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

7.4 The Director of Planning may permit the following to be excluded in the computation of floor area:

- (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure subject to the following:

- (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
- (ii) no more than fifty percent of the excluded balcony floor area may be enclosed. [7512; 96 01 11]
- (b) interior public space, including atria and other similar spaces, provided that:
 - (i) the excluded area shall not exceed the lesser of 10 percent of the permitted floor area or 604 m²;
 - (ii) the excluded area shall be secured by covenant and right of way in favour of the City of Vancouver which set out public access and use; and
 - (iii) the Director of Planning first considers all applicable policies and guidelines adopted by Council.

7.5

The total floor area in each sub-area for the uses listed in Table 2 shall not exceed the applicable totals set opposite such uses, and any use permitted by section 3 but not listed in Table 2 is not limited by this sub-section 7.5.

Table 2 - Maximum Floor Area (in square metres)

Use	1	2	3	4	5	6	7	8	9	10
Residential Uses	34 000	14 600	N/A	20 100	N/A	18 300	39 100	22 600	N/A	43 300
Retail, Service and Office uses	N/A	1 200	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Office, Cultural, Recreational, and Institutional Uses*	N/A	1 395	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Neighbourhood House	N/A	930	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Community Gymnasium	N/A	740	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Child Day Care Facility	N/A	650	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
School - Elementary	N/A	2 320	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

[8340; 01 06 05] [8824; 04 04 06]

* Note: This additional 1 395 m² of community service space is to be made available to social and community and service organizations only.

7.6

Despite sub-section 7.5, the Development Permit Board may permit an increase in the maximum floor area for residential uses of 5% in each of sub-areas 7, 8 and 10 but the aggregate maximum floor area for all sub-areas must not exceed 192 000 m². [8340; 01 06 05] [8824; 04 04 06]

7.7

The maximum number of units in each sub-area shall be as set out in Table 3.

Table 3 - Maximum Number of Dwelling Units

Use	1	2	3	4	5	6	7	8	9	10
Maximum Number of Units	475	258	N/A	282	N/A	255	515	338	N/A	647

[8340; 01 06 05]

7.8

Notwithstanding section 7.7, the Development Permit Board may permit an increase in the maximum number of residential units by 5 percent in each sub-area, provided that the development total does not exceed 2,800 units.

8

Height

The maximum building height measured above the base surface, but excluding the mechanical penthouse and roof, shall be as set out in Table 4.

Table 4 - Maximum Height (in metres)

Use	1	2	3	4	5	6	7	8	9	10
Maximum Height	56	48	N/A	56	N/A	53	51	67	N/A	72

[8340; 01 06 05]

9

Residential Component

9.1

Any development which combines residential with any other use shall have separate and distinct means of pedestrian access to the residential component from streets and on-site parking.

9.2

Private, semi-private, and public outdoor spaces shall be clearly separated and distinguished from each other.

10

Parking

Off-street parking shall be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law, except as follows:

- (a) multiple dwelling uses shall provide a minimum of one space for each 250 m² of gross residential floor area plus 0.75 space for each dwelling unit;
- (b) seniors supportive or assisted housing use shall provide
 - (i) a minimum of 1 space for each 100 m² of gross floor area for each residential unit consisting of less than 50 m² of gross floor area,
 - (ii) a minimum of 1 space for each 70 m² of gross floor area for each residential unit consisting of 50 m² or more and less than 70 m² of gross floor area,
 - (iii) a minimum of 1 space for each 70 m² of gross floor area for each residential unit consisting of 70 m² or more of gross floor area, except that no more than 2.2 spaces for each dwelling unit need be provided,
 - (iv) passenger space requirements for Community Care Facility - Class B, and [9674; 08 06 24]
 - (v) a minimum of two disability spaces, and, after the first 30 spaces, a minimum of one disability space for every 15 off-street parking spaces. [8340; 01 06 05]
- (c) cultural, recreational and institutional uses shall provide parking as determined by the Director of Planning, in consultation with the City Engineer. [7717; 97 03 25] [8824; 04 04 06]

11

Loading

Off-street loading shall be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law, except that one loading bay shall be provided for every 200 dwelling units.

12 Acoustics

All development permit applications shall require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise level set opposite such portions. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

[7515; 96 01 11]

**This is Schedule "C" to
By-law No. 7204**

**Development Plan
of CD-1 (314)**

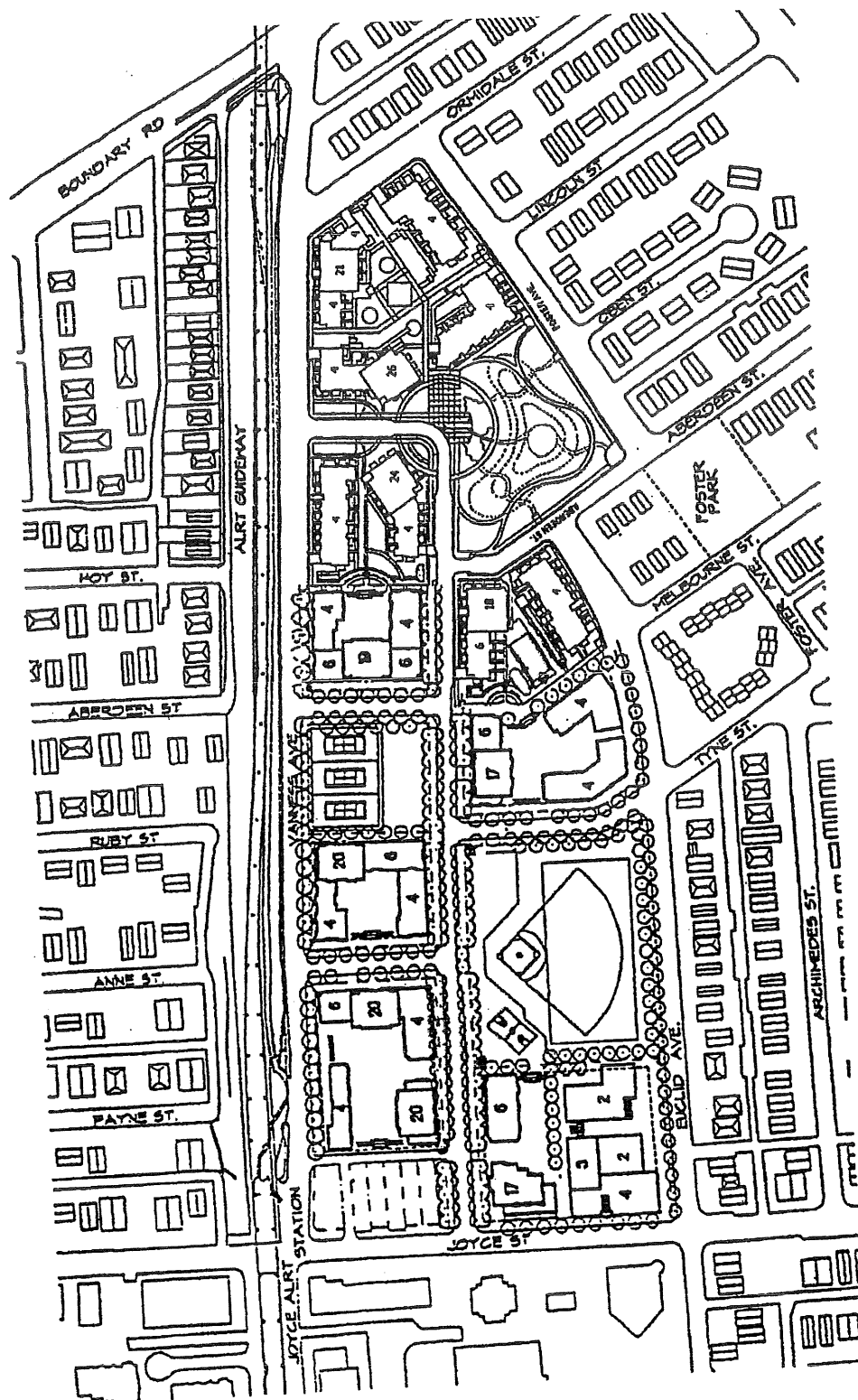
1

Intent

The following schedule sets forth the amenities, facilities, utilities, services and land (hereinafter referred to as infrastructure), to be provided to the City, together with the time at which each item is to be provided.

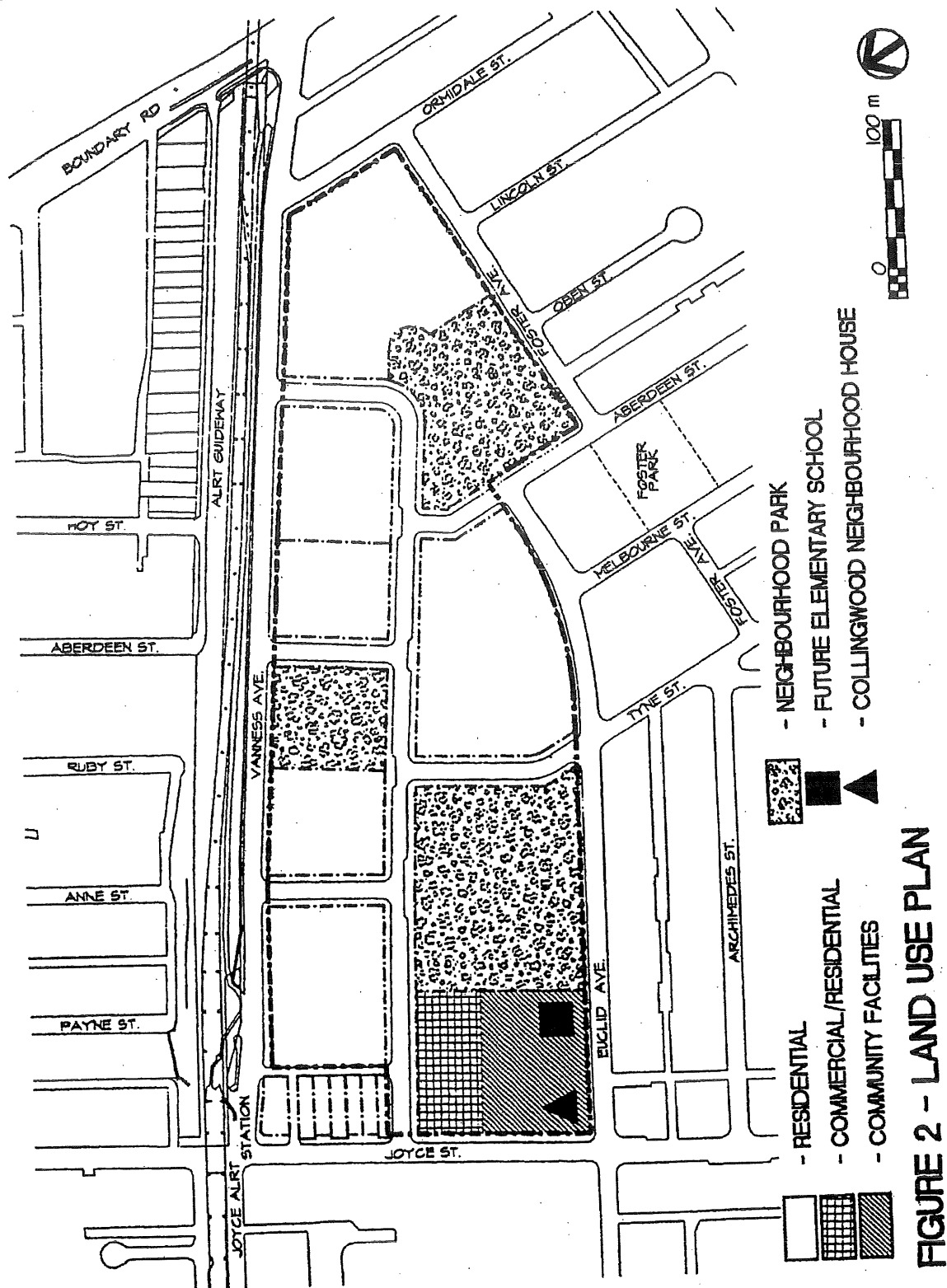
Item of Infrastructure	Time for Provision
<p><i>Phase 2</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipers, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 2, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p> <p>The land for a park, generally as shown in Figure 7 to the Development Plan, and improvements, satisfactory to the General Manager of Parks and Recreation.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 2.</p>

Item of Infrastructure	Time for Provision
<p><i>Phase 3</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipers, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 3, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 3.</p>
<p><i>Phase 4</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipers, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 4, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p> <p>The land for a park, generally as shown in Figure 7 to the Development Plan, and improvements, satisfactory to the General Manager of Parks and Recreation.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 3.</p>



• building heights are stated as number of storeys

FIGURE 1 – ILLUSTRATIVE SITE PLAN



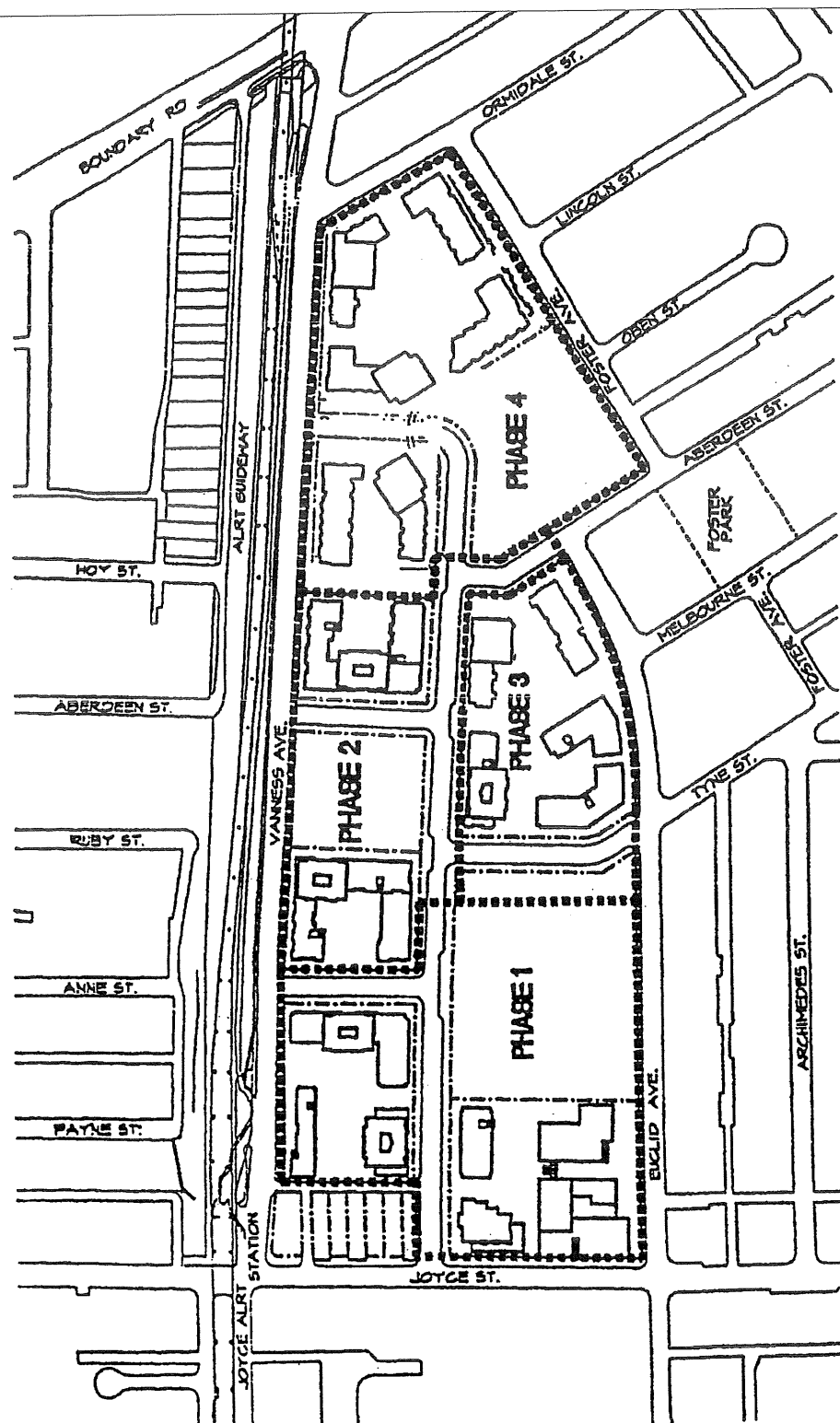


FIGURE 3- PHASING PLAN

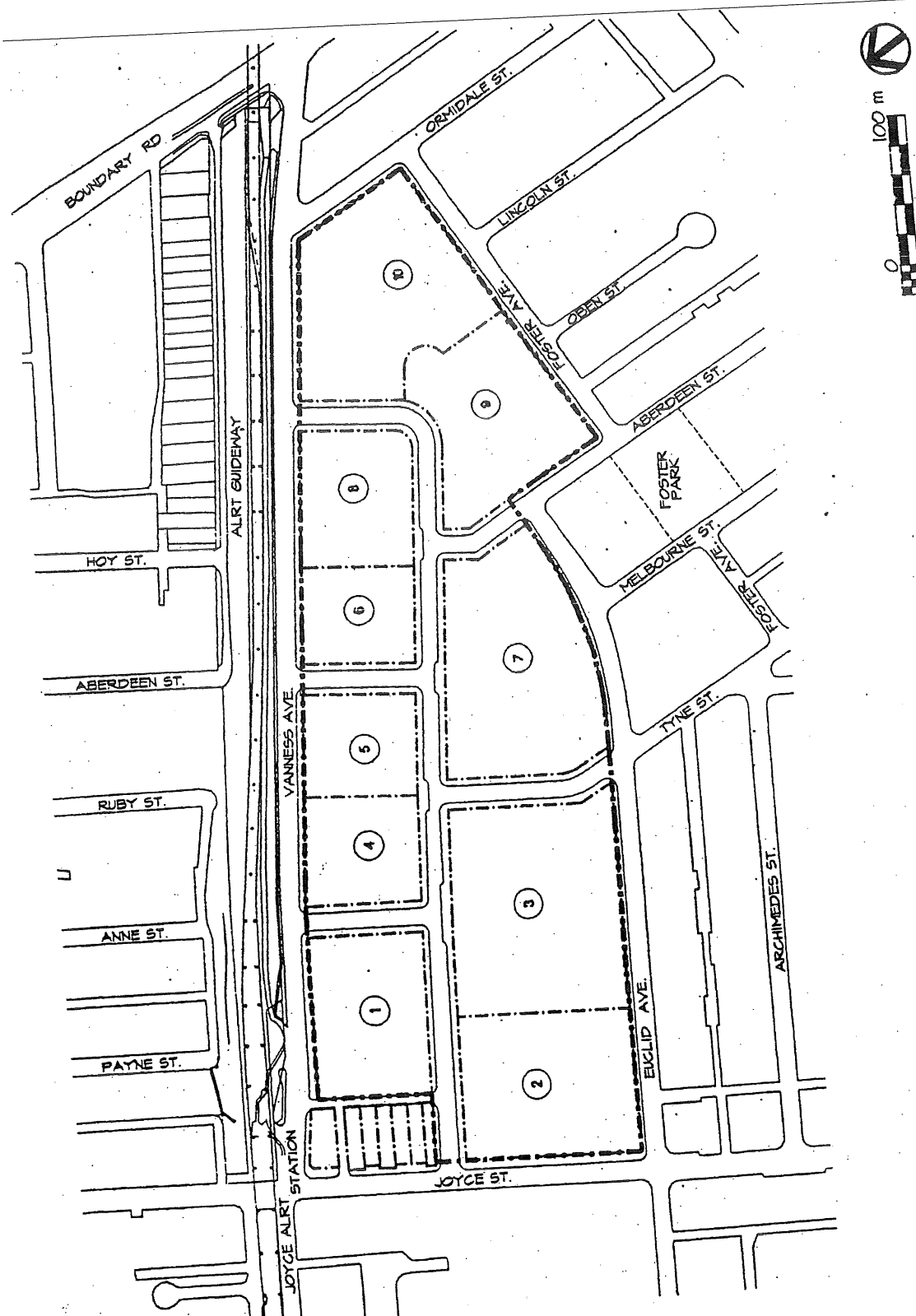
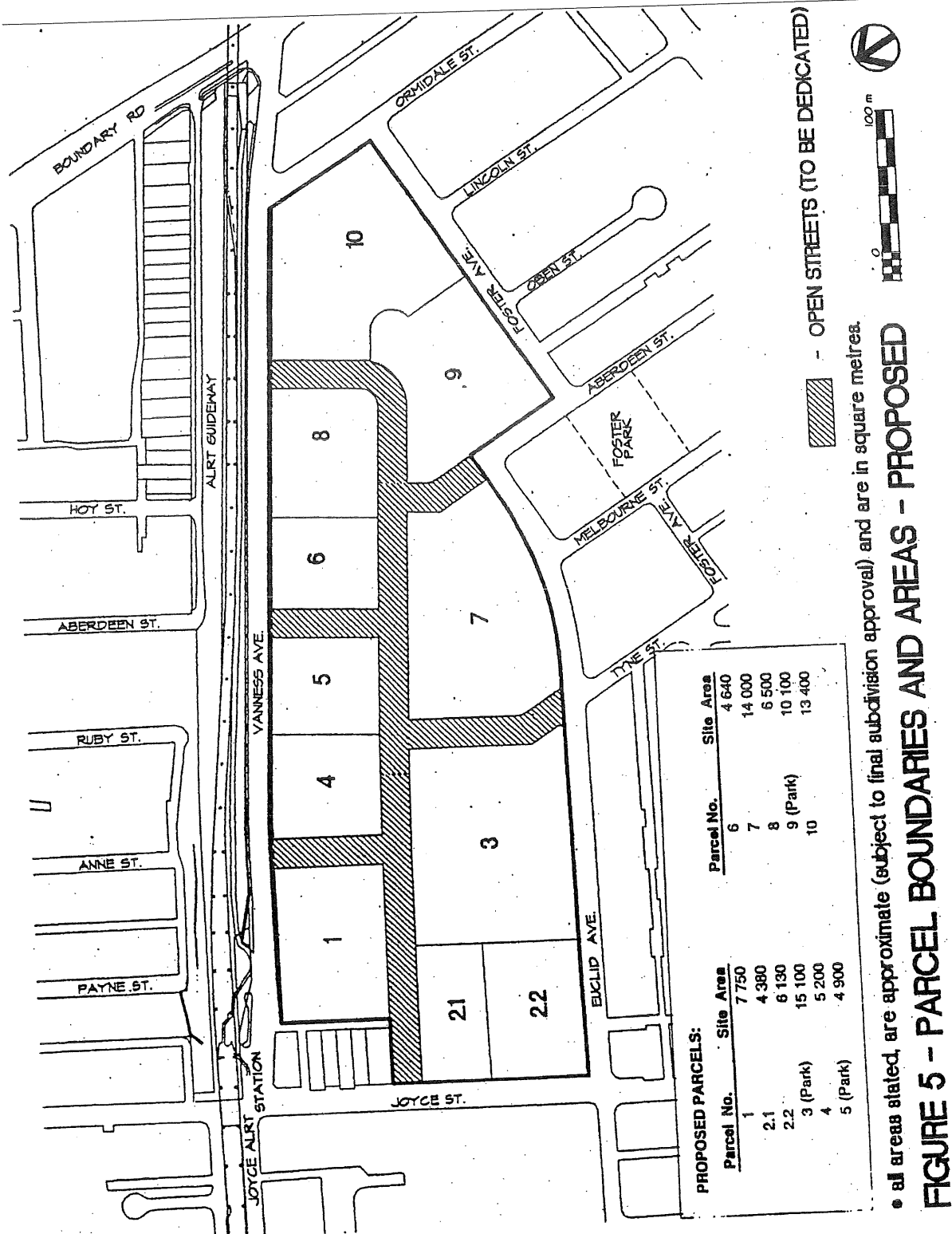


FIGURE 4 - SUB AREAS PLAN



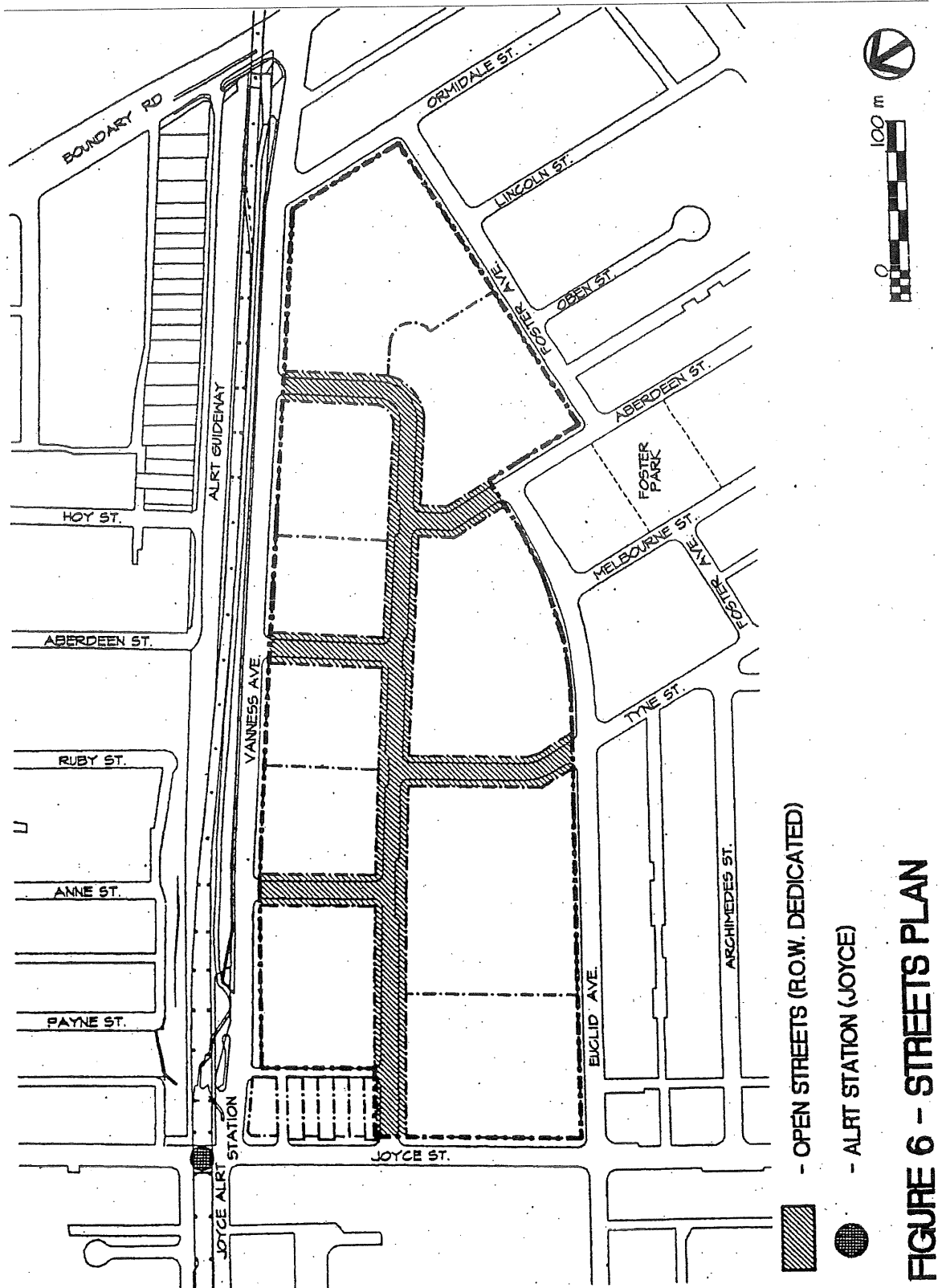


FIGURE 6 - STREETS PLAN

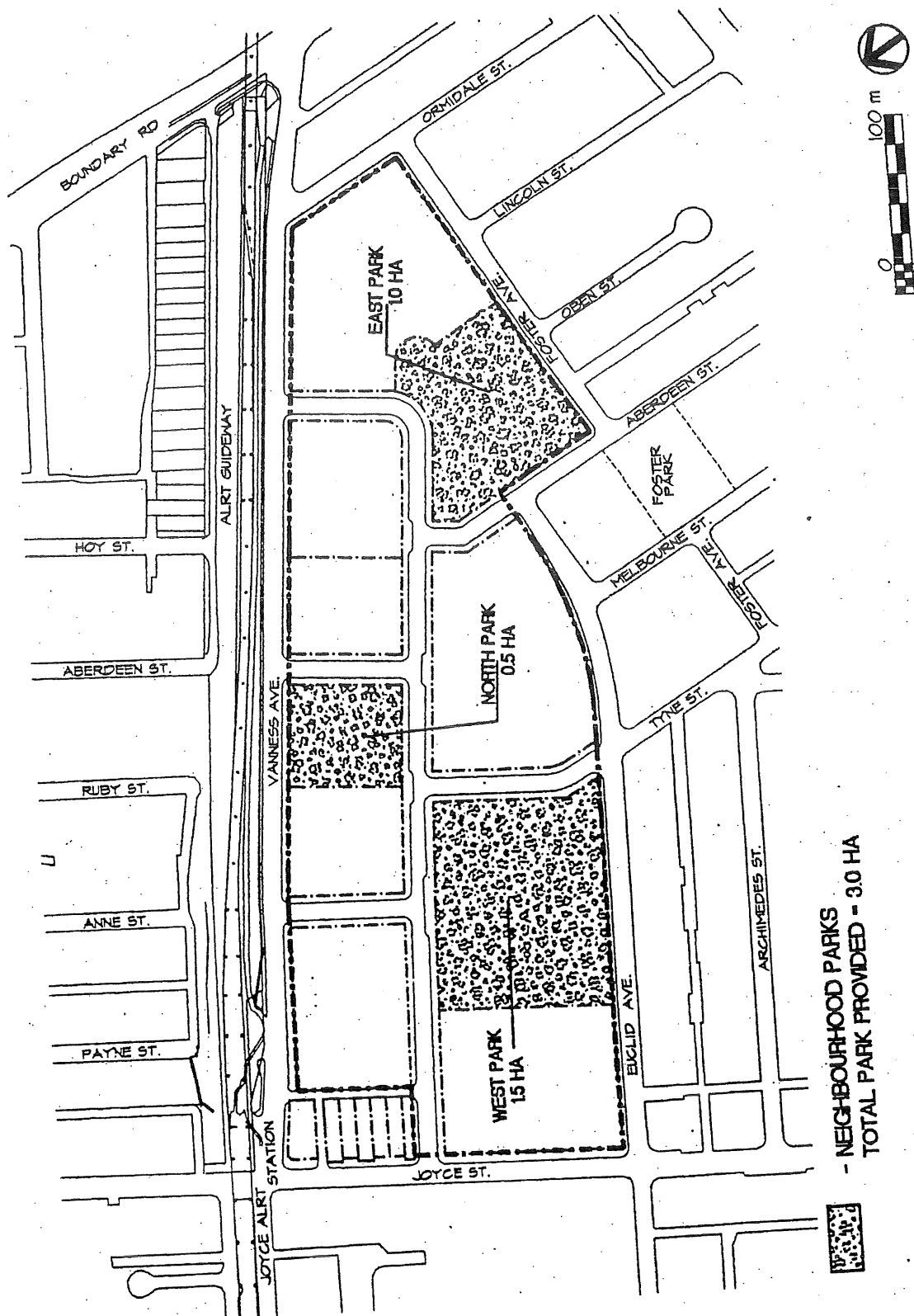


FIGURE 7 - PARKS PLAN

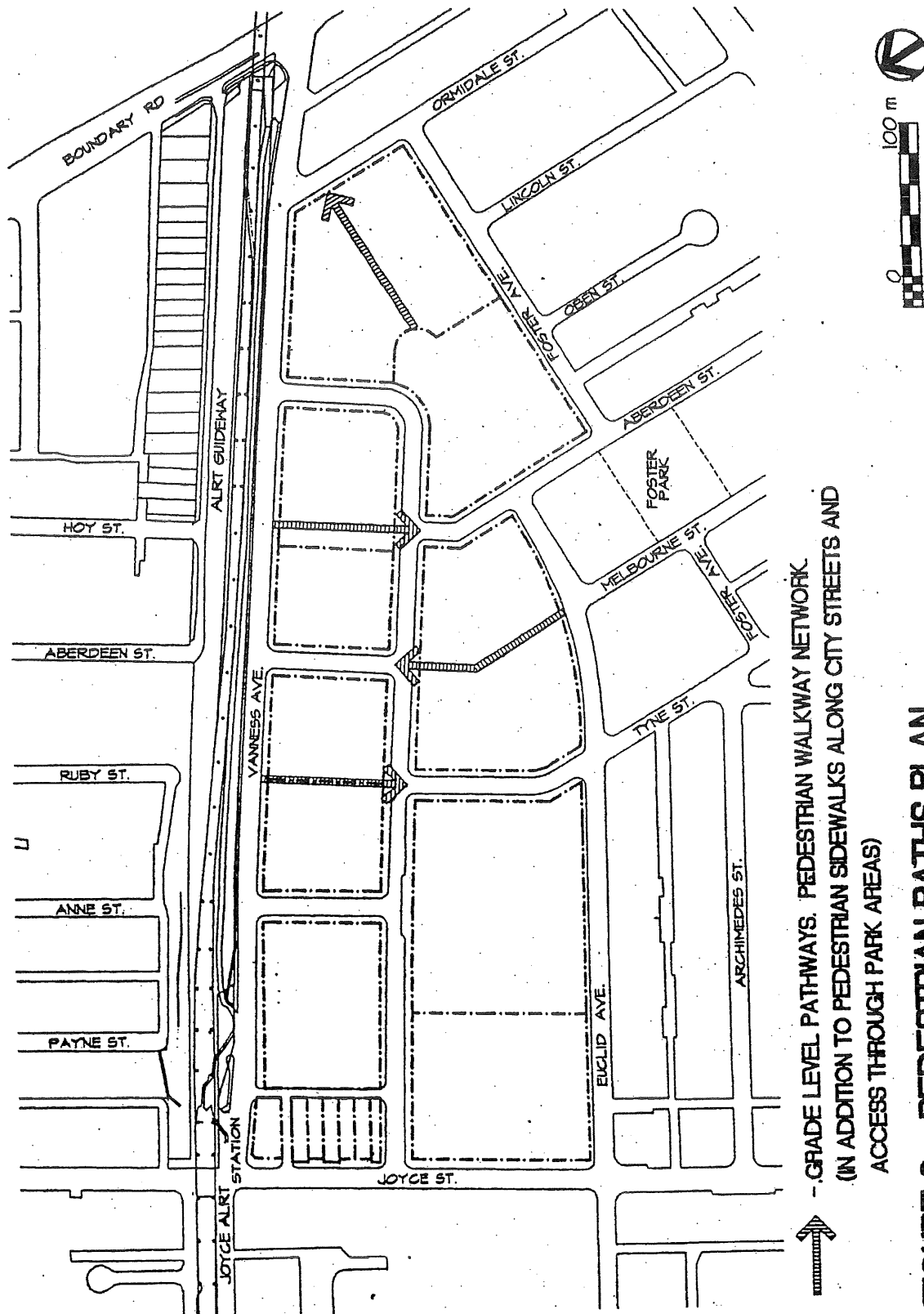


FIGURE 8 - PEDESTRIAN PATHS PLAN

STRATA PLAN OF LOT 2
BLOCK 6 DISTRICT LOT 36 GROUP 1
NEW WESTMINSTER DISTRICT
PLAN EPP41502 EXCEPT AIR SPACE
PLAN EPP60815

BCGS 92G.025



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:500.

All distances are in metres and decimals thereof.
Integrated Survey Area No. 31, City of Vancouver, NAD83 (CSRS)
4.0.0.BC.1.GVRD.

Grid bearings are derived from observations between geodetic control monuments V-2720 and V-1626.

The UTM coordinates and estimated horizontal positional accuracy achieved have been derived from conventional survey observations to geodetic control monuments V-2720 and V-1626.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995856 which has been derived from geodetic control monuments V-2720 and V-1626.

This plan shows one or more witness posts which are not set on the true corner(s).

The building included in this plan has not been previously occupied.

Certain parts of the buildings shown hereon are not in the external boundaries of the land that is the subject of the strata plan and appropriate and necessary easements or other interests are required to provide for these encroachments

All balconies and terraces are defined as to height by the centre of the floor above or its extensions, or where there is no floor above by the average height of a strata lot within the same building, unless otherwise indicated.

LEGEND

- LEGEND**
- ⊙ denotes control monument found
 - denotes standard iron post found
 - denotes lead plug found
 - denotes standard iron post placed
 - denotes lead plug placed
- TPND** denotes Tied Previously Now Destroyed
Wt denotes Witness

Civic Address: _____ Road, Vancouver, BC

See Sheet 2 and 3 for building perimeter dimensions.

V-1627
NAD83(CSRS) 4.0,0.BC.1.GVRD
UTM Zone 10 North
UTM Northing: 5453252.574
UTM Easting: 498064.488
Point Combined Factor: 0.999587
Estimated Horizontal Positional
Accuracy is 0.01m

V-2720
NAD83(CSRS) 4.0,0.BC.1.GVRD
UTM Zone 10 North
UTM Northing: 5453286.647
UTM Easting: 498185.738
Point Combined Factor: 0.999584
Estimated Horizontal Positional
Accuracy is 0.01m

V-1626
NAD83(CSRS) 4.0,0.BC.1.GVRD
UTM Zone 10 North
UTM Northing: 5453294.773
UTM Easting: 498275.445
Point Combined Factor: 0.999585
Estimated Horizontal Positional
Accuracy is 0.01m



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

C:\Users\SCSUA03-ROU\Documents\Working\046577 SCSUA03-ROU TO INTRACOM

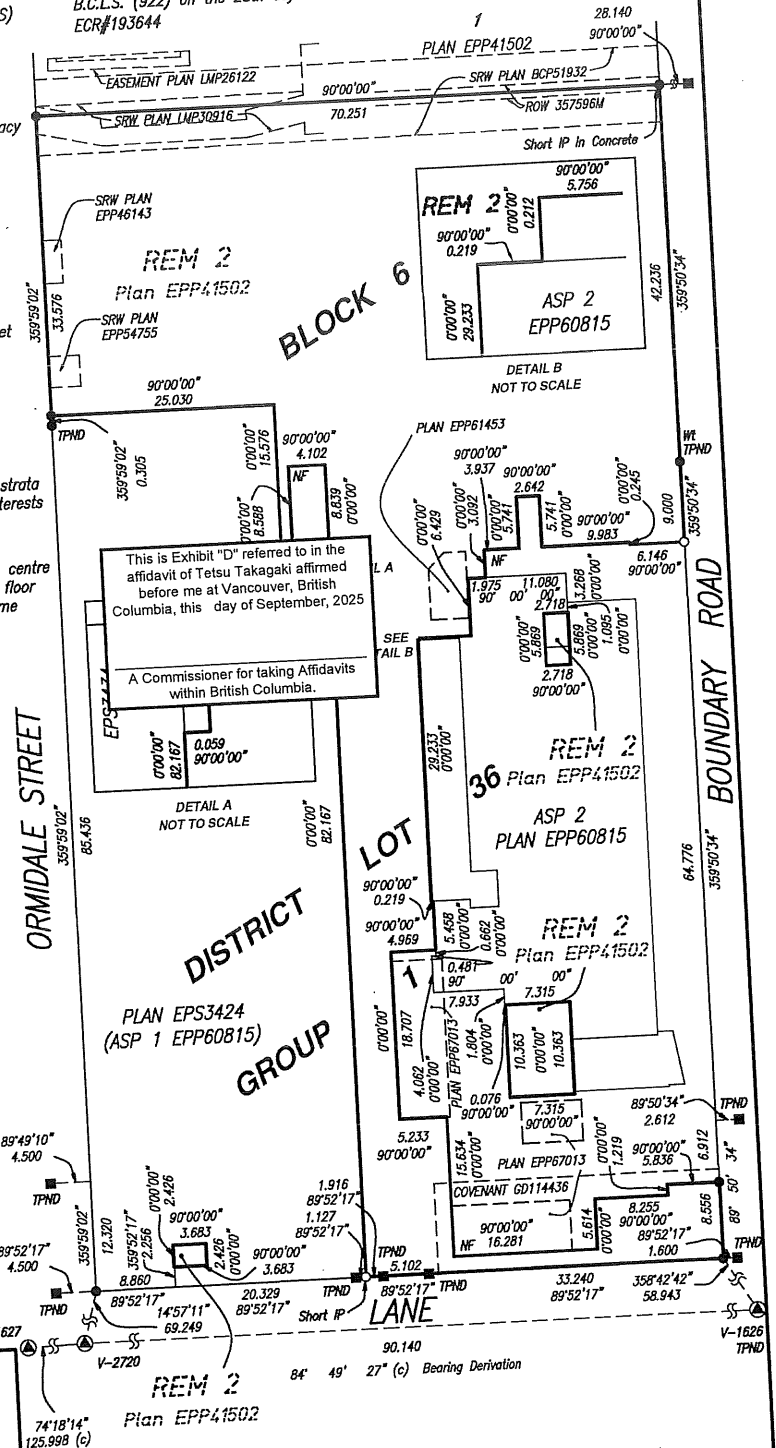
STRATA PLAN EPS3434

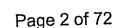
This is Exhibit "H" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits
within British Columbia.

This plan lies within the Greater Vancouver Regional District and the City of Vancouver.

The field survey represented by this plan was completed by Jeffrey D. Thompson, B.C.L.S. (922) on the 28th day of November, 2016.





FOUNDATION SHEET AT FLOOR 7

STRATA PLAN EPS3434

Sheet 3 of 72 Sheets



All distances are in metres
and decimals thereof.

The intended plot size of
this plan is 280mm in
width by 432mm in height
(B size) when plotted at a
scale of 1:400.



ORMIDALE STREET

BOUNDARY ROAD

1
Plan EPP41502REM 2
Plan EPP41502PLAN EPS3424
(ASP 1 EPP60815)

NORTH TOWER

SOUTH TOWER

LANE

Jeffrey D. Thompson BCLS
November 29, 2016WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BCPROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

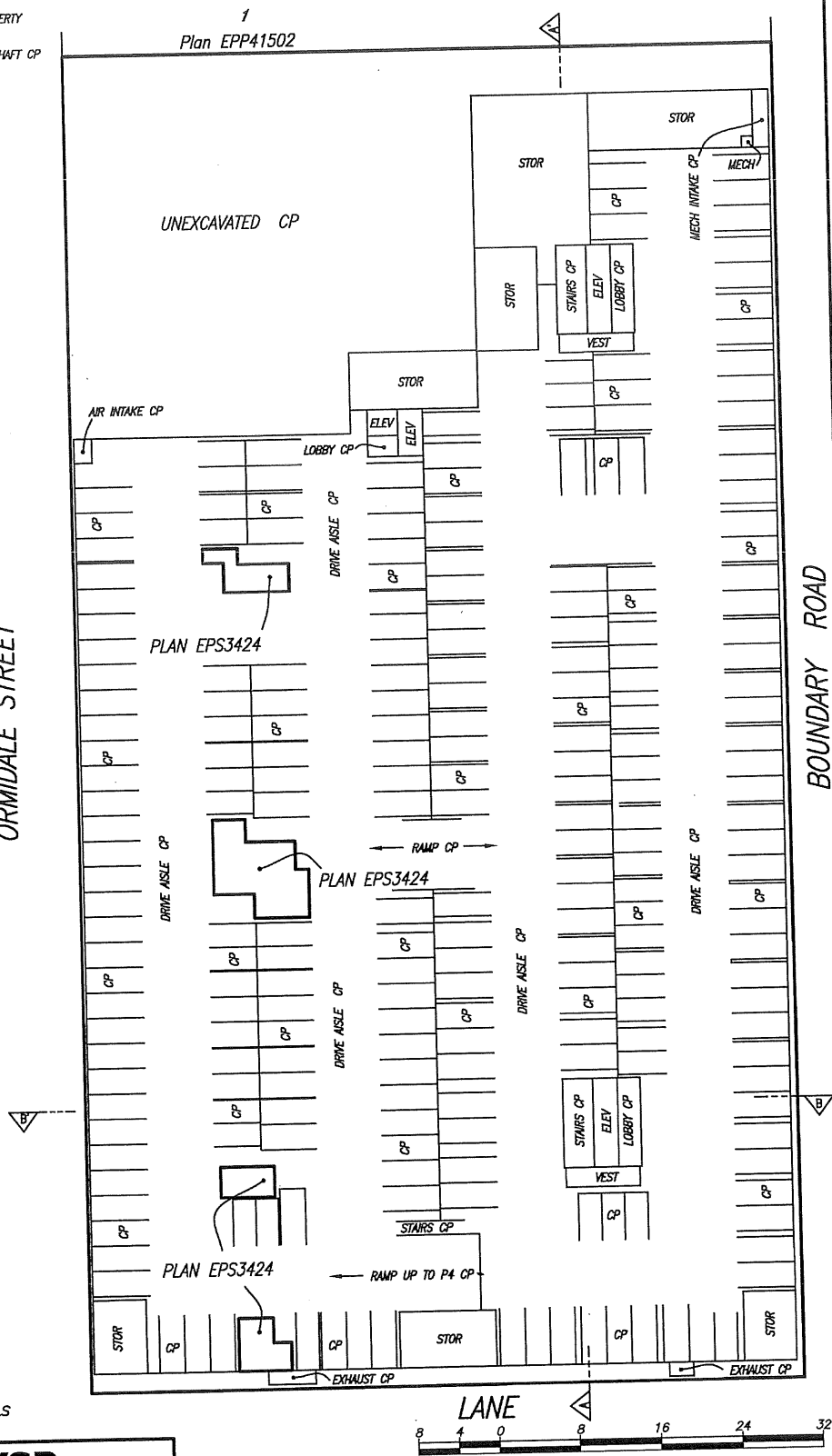
**FLOOR PLANS
PARKING LEVEL P5****STRATA PLAN EPS3434****LEGEND**

CP ——— DENOTES COMMON PROPERTY
 ELEV ——— DENOTES ELEVATOR CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 STOR ——— DENOTES STORAGE CP
 VEST ——— DENOTES VESTIBULE CP



ORMIDALE STREET

BOUNDARY ROAD



S:\Southern BC\45101046377 (40)\Working\046377_SCSU03-R00 towers.dwg

2016/11/29 - 08:58

Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS

8 4 0 8 16 24 32
 LANE

All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

**FLOOR PLANS
PARKING LEVEL P4****STRATA PLAN EPS3434**

Sheet 5 of 72 Sheets

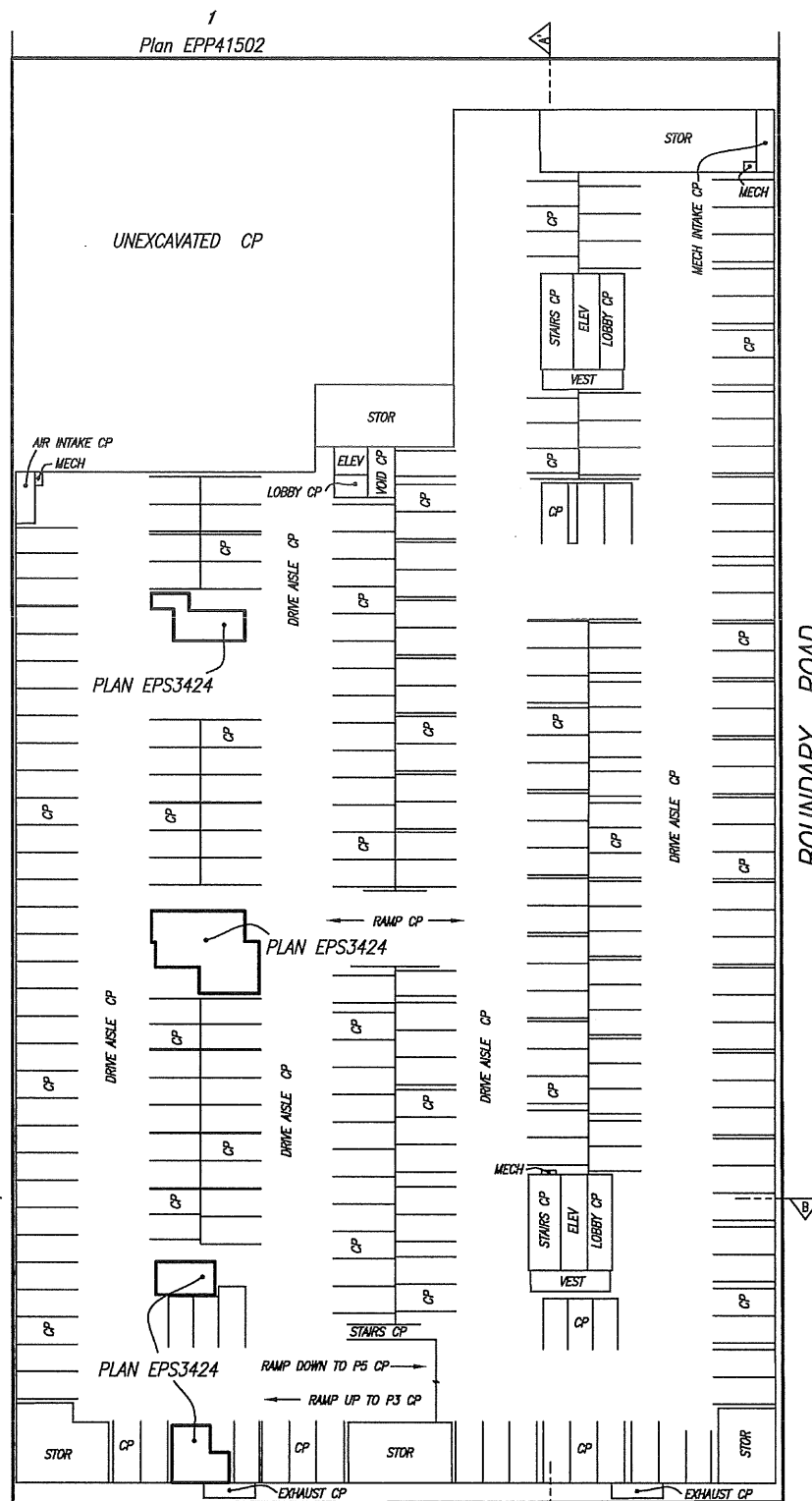
LEGEND

CP ——— DENOTES COMMON PROPERTY
 ELEV ——— DENOTES ELEVATOR CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 STOR ——— DENOTES STORAGE CP
 VEST ——— DENOTES VESTIBULE CP



ORMIDALE STREET

BOUNDARY ROAD



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

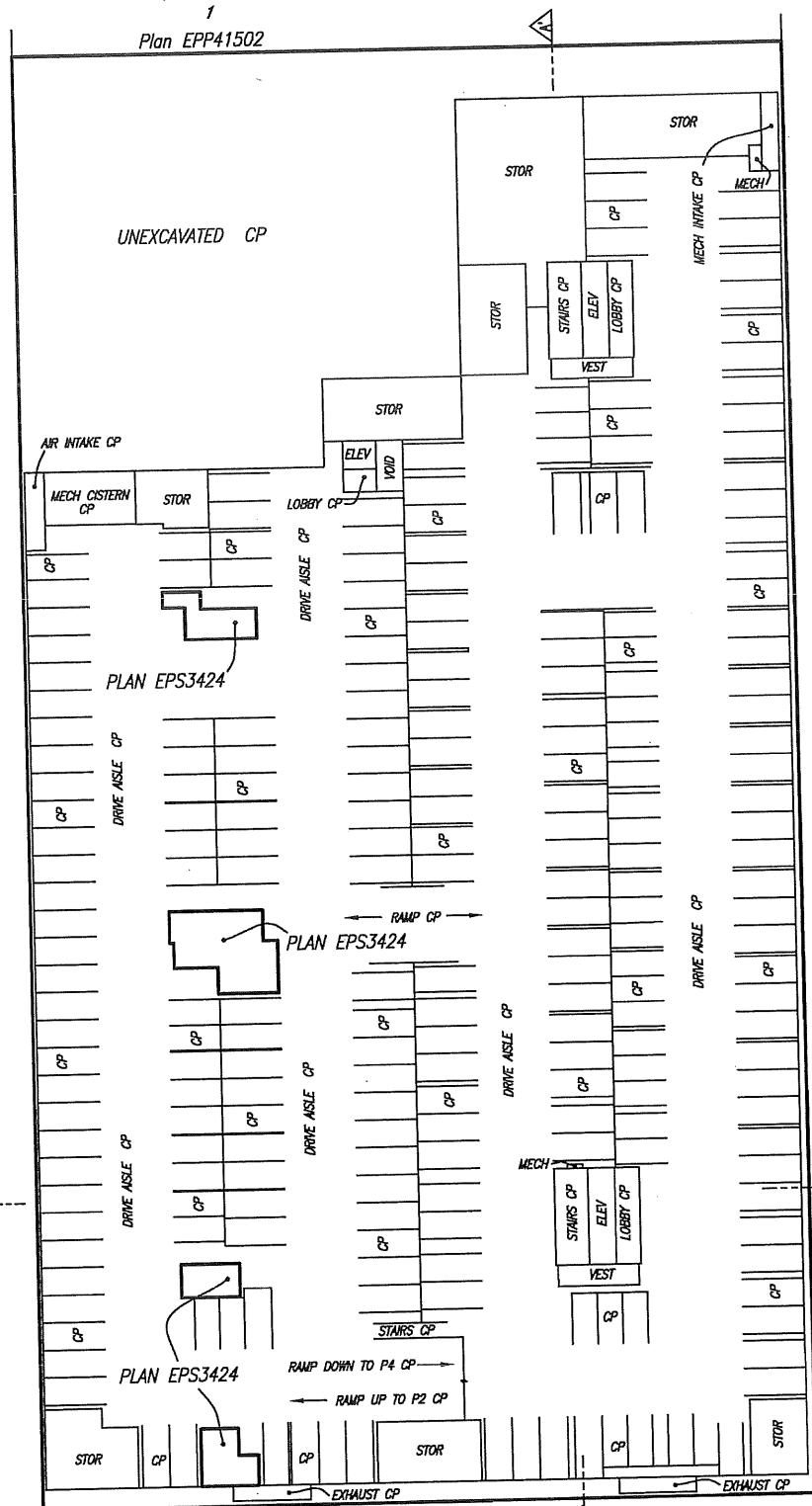
**FLOOR PLANS
PARKING LEVEL P3****STRATA PLAN EPS3434****LEGEND**

CP ——— DENOTES COMMON PROPERTY
 ELEV ——— DENOTES ELEVATOR CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 STOR ——— DENOTES STORAGE CP
 VEST ——— DENOTES VESTIBULE CP



ORMIDALE STREET

BOUNDARY ROAD



2016/11/29 - 08:58 S:\Southern BC 151\1048577\0401\Workshop\040877 SCSU03-R00 Towers.dwg

Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS

LANE
 8 4 0 8 16 24 32

All distances are in metres and decimals thereof.

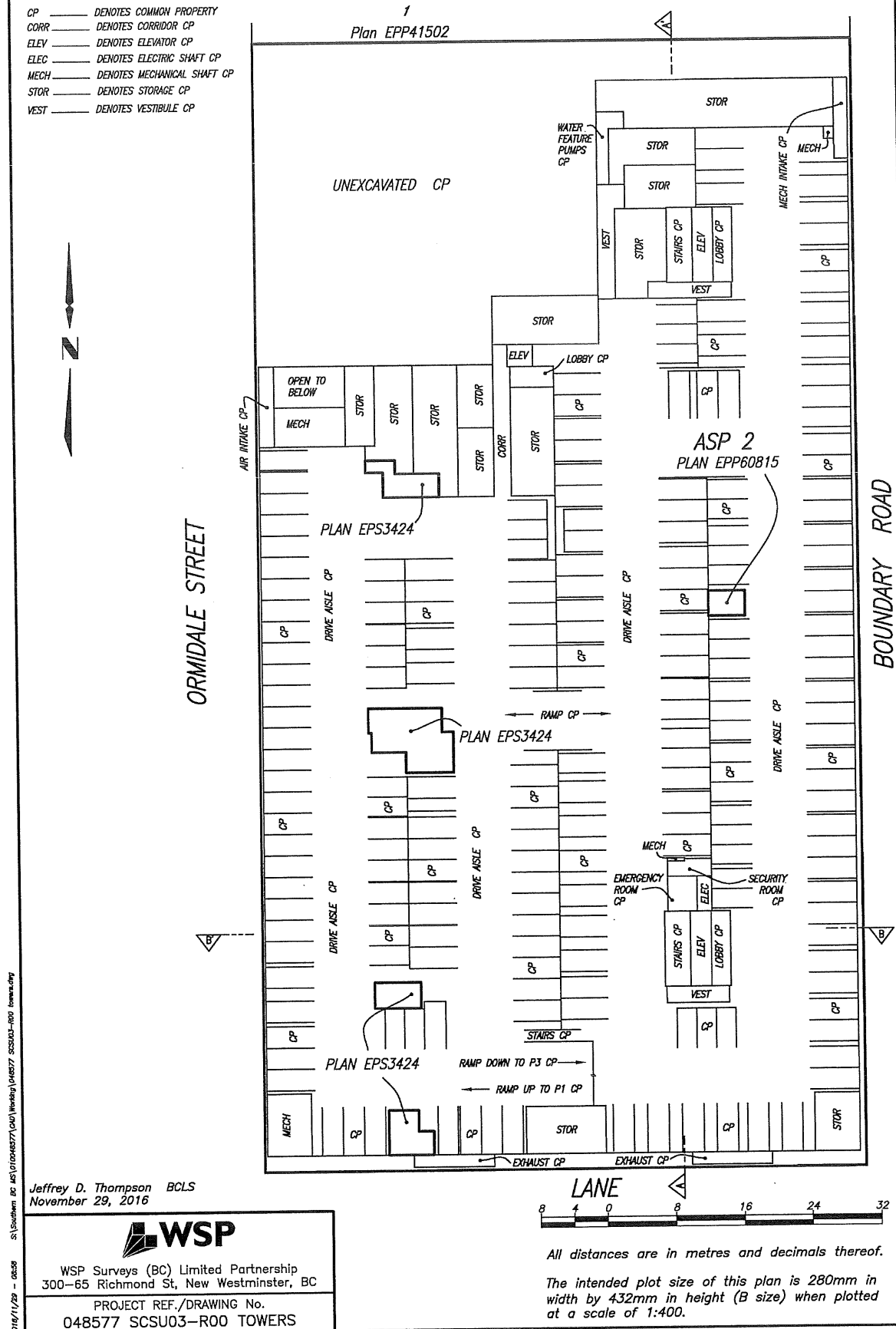
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

Sheet 7 of 72 Sheets

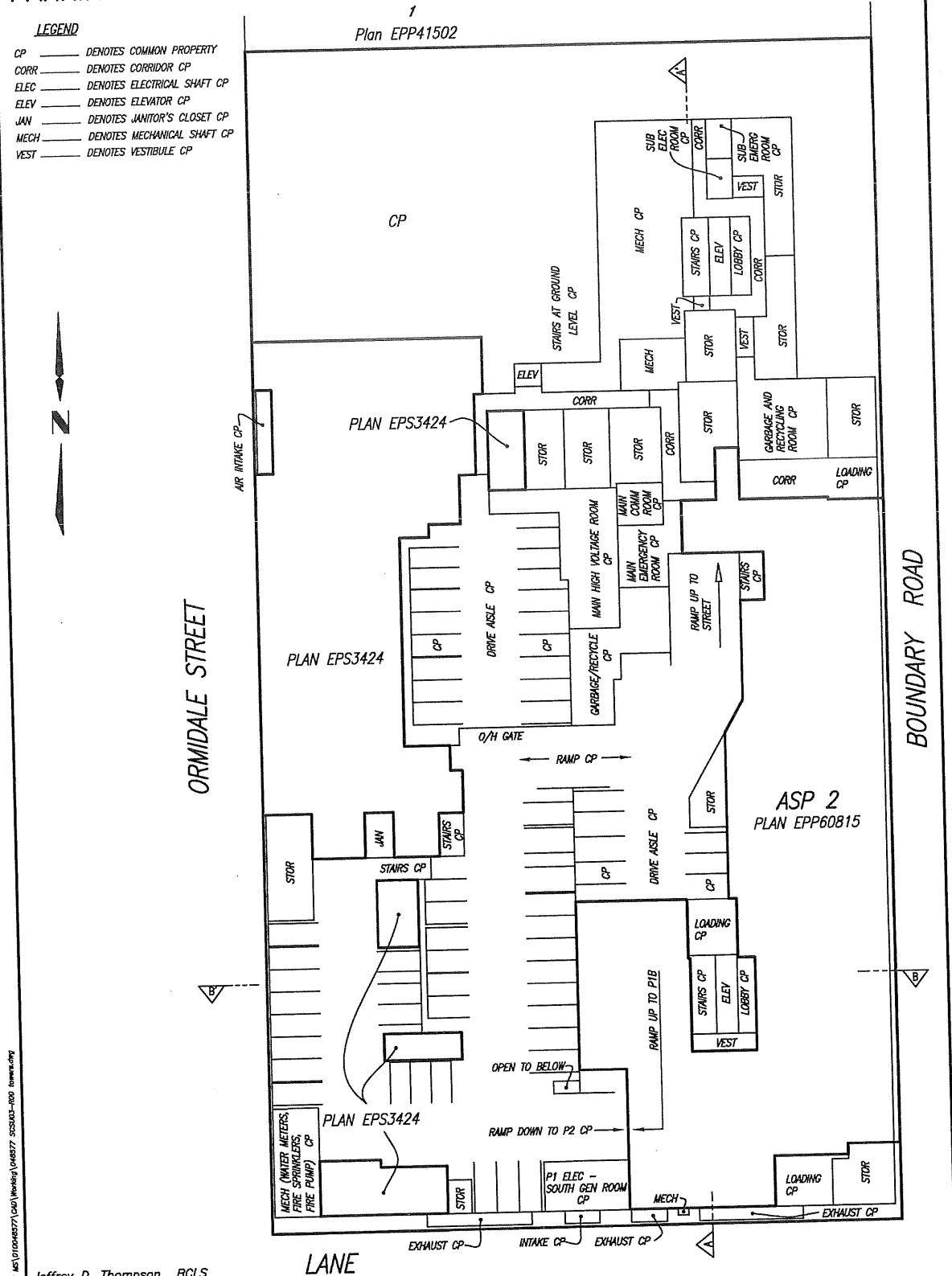
STRATA PLAN EPS3434

Sheet 7 of 72 Sheets

CP _____ DENOTES COMMON PROPERTY
CORR _____ DENOTES CORRIDOR CP
ELEV _____ DENOTES ELEVATOR CP
ELEC _____ DENOTES ELECTRIC SHAFT CP
MECH _____ DENOTES MECHANICAL SHAFT CP
STOR _____ DENOTES STORAGE CP
VEST _____ DENOTES VESTIBULE CP



CP _____ DENOTES COMMON PROPERTY
CORR _____ DENOTES CORRIDOR CP
ELEC _____ DENOTES ELECTRICAL SHAFT CP
ELEV _____ DENOTES ELEVATOR CP
JAN _____ DENOTES JANITOR'S CLOSET CP
MECH _____ DENOTES MECHANICAL SHAFT CP
VEST _____ DENOTES VESTIBULE CP



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

FLOOR PLANS SOUTH TOWER FLOOR P1(B) AND GROUND FLOOR NORTH TOWER

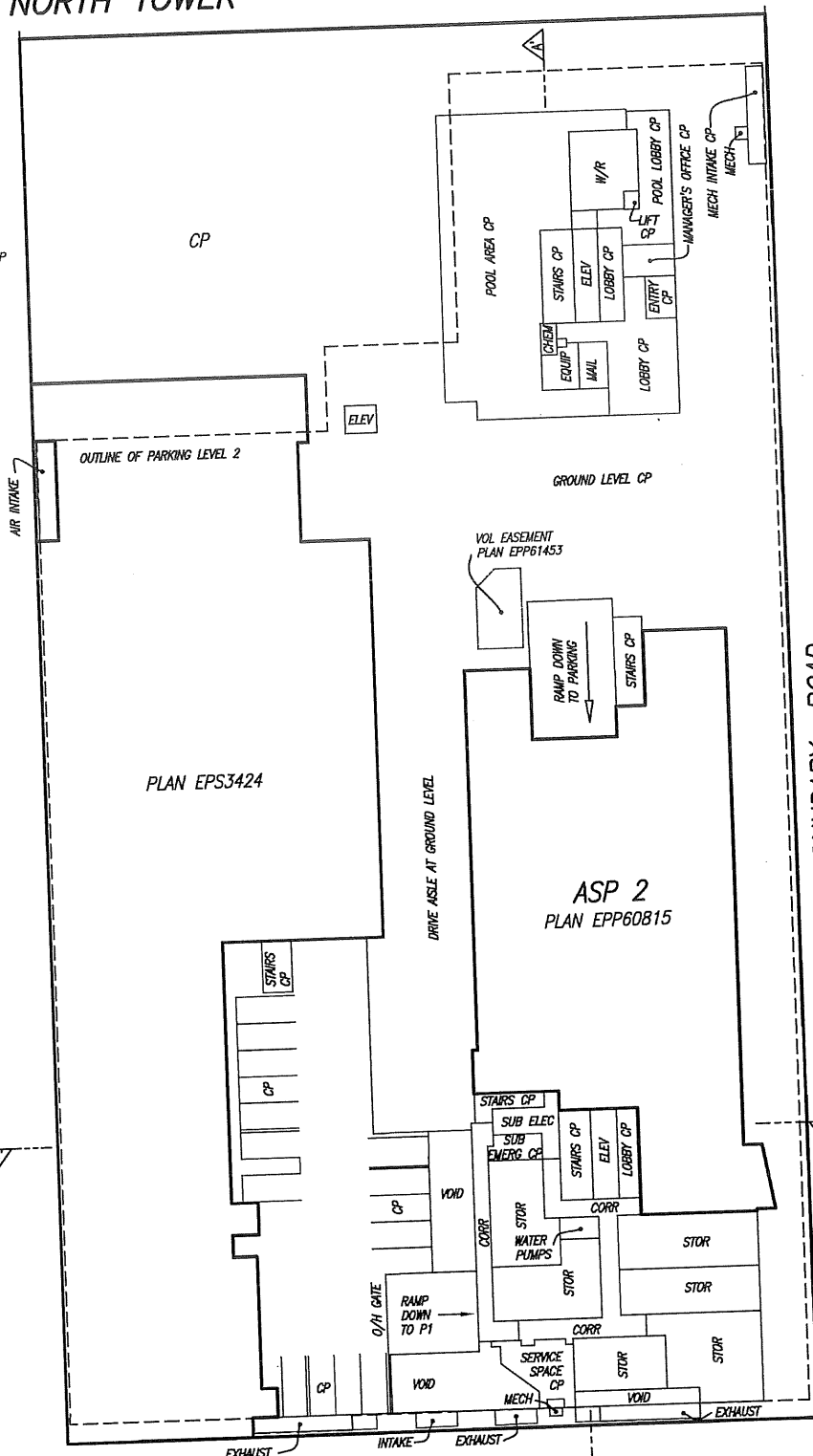
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CORR ——— DENOTES CORRIDOR CP
 CHEM ——— DENOTES CHEMICAL ROOM CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 ELEV ——— DENOTES EQUIPMENT ROOM CP
 MAIL ——— DENOTES MAIL ROOM CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 VEST ——— DENOTES VESTIBULE CP
 W/R ——— DENOTES WASHROOM CP



ORMIDALE STREET



2016/11/29 - 08:59 S:\Stratum BC 45\1044577\040\Working\04577 503434-000 towers.dwg

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

8 4 0 8 16 24 32

All distances are in metres and decimals thereof.

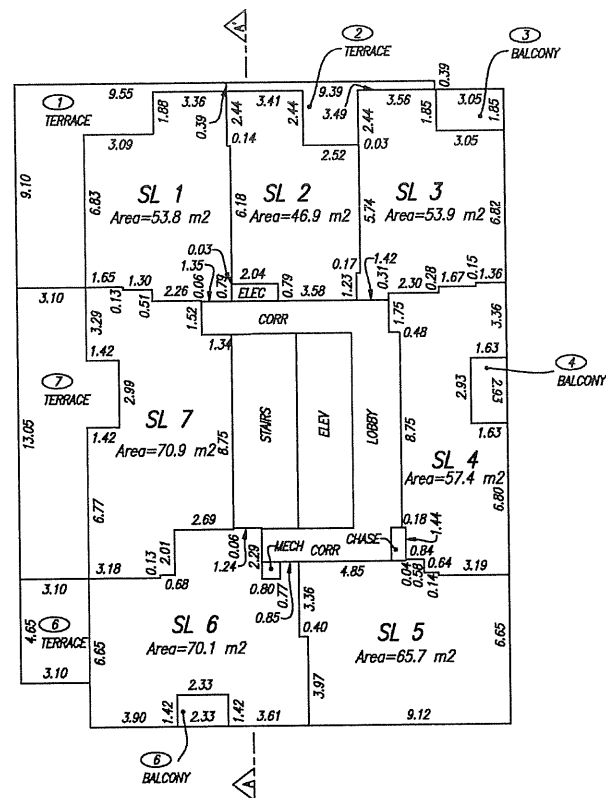
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

Sheet 10 of 72 Sheets

STRATA PLAN EPS3434

CP _____ DENOTES COMMON PROPERTY
CHASE _____ DENOTES CHASE CP
CORR _____ DENOTES CORRIDOR CP
ELEC _____ DENOTES ELECTRICAL SHAFT CP
ELEV _____ DENOTES ELEVATOR CP
LOBBY _____ DENOTES LOBBY CP
MECH _____ DENOTES MECHANICAL SHAFT CP
SL _____ DENOTES STRATA LOT
STAIRS _____ DENOTES STAIRS CP
2 _____ DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:
 -TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 2

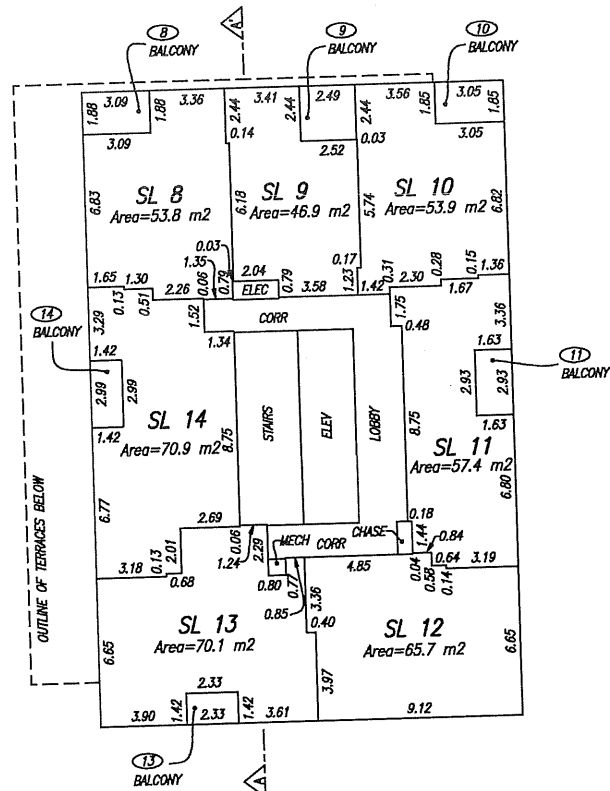
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



2016/11/29 - 10:09
S:\Southern BC\45\10046577\040\Work\45\048577\SCSU03-R00 Towers.dwg

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

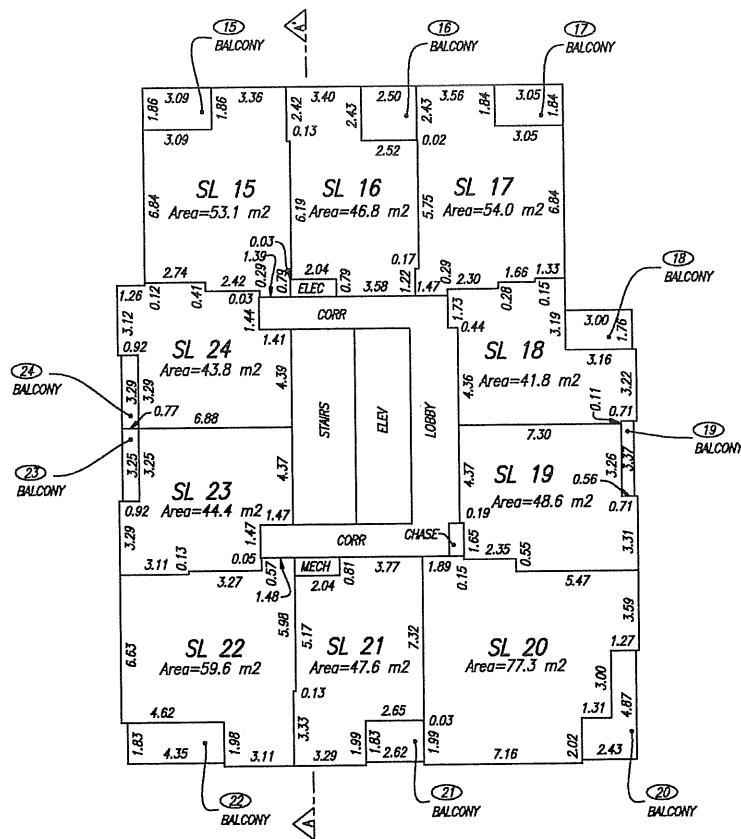
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 3****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 5

STRATA PLAN EPS3434

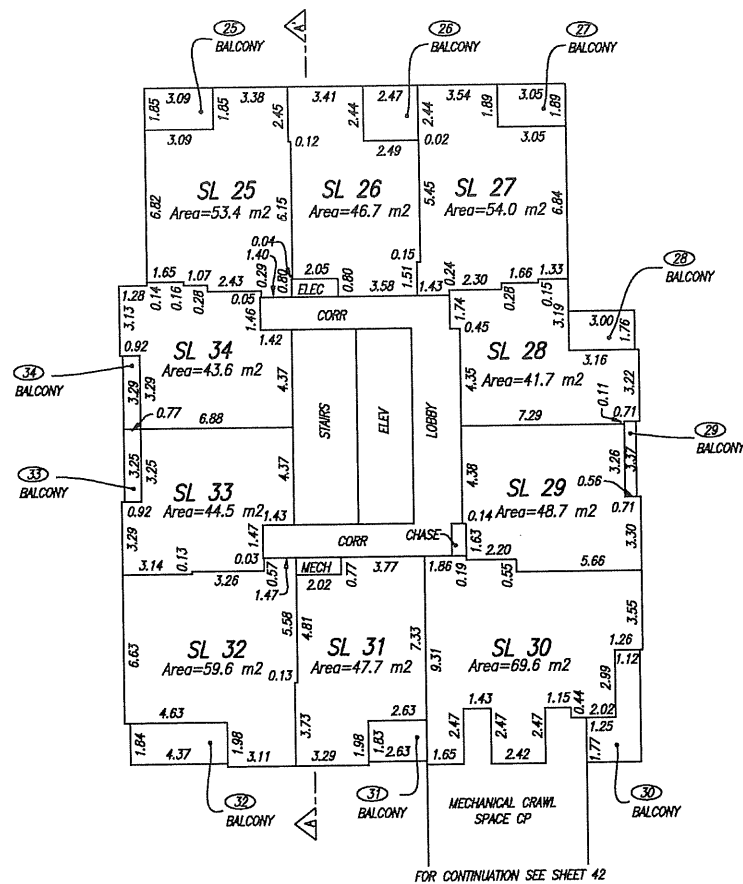
NOTE: NO LEVEL 4

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

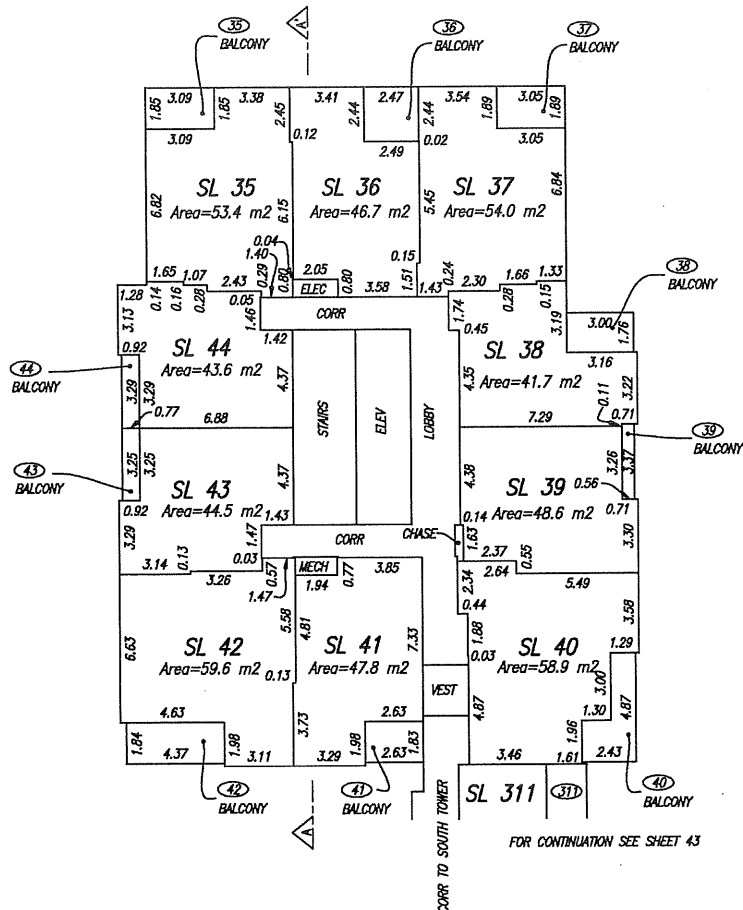
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 6****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC
 PROJECT REF./DRAWING NO.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

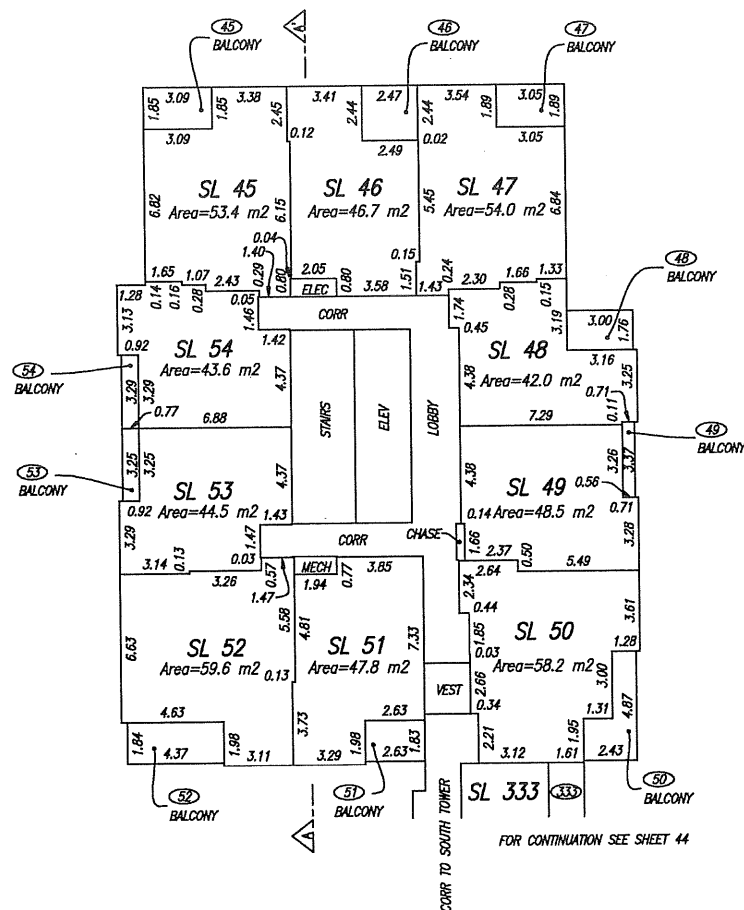
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 7****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 50mm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



FOR CONTINUATION SEE SHEET 44

Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

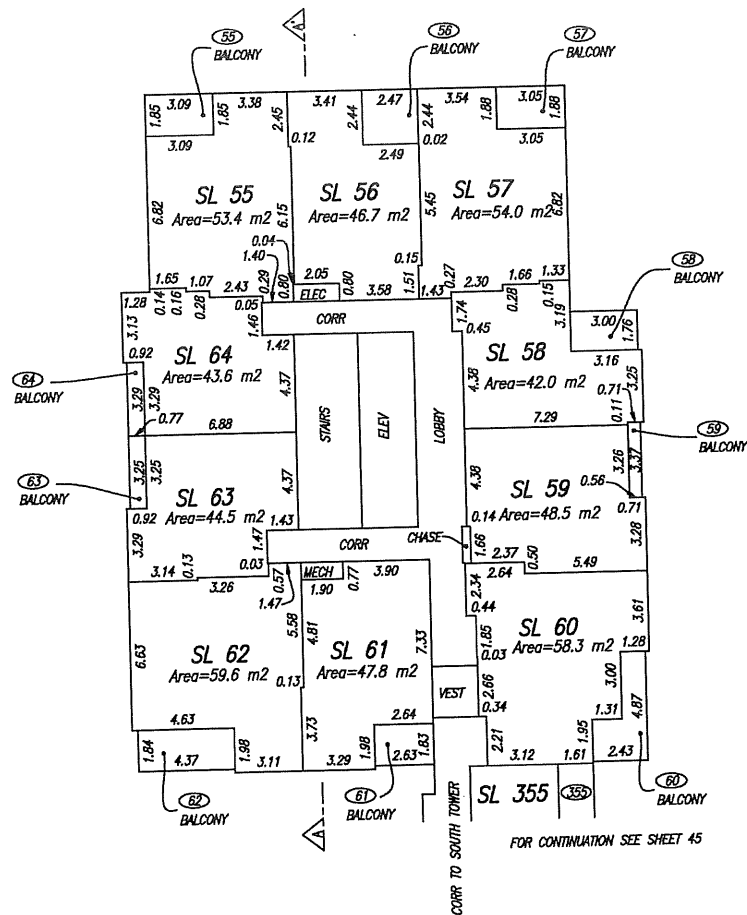
The intended plot size of this plan is 280mm in
 width by 432mm in height (B size) when plotted
 at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 8****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC
 PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 9

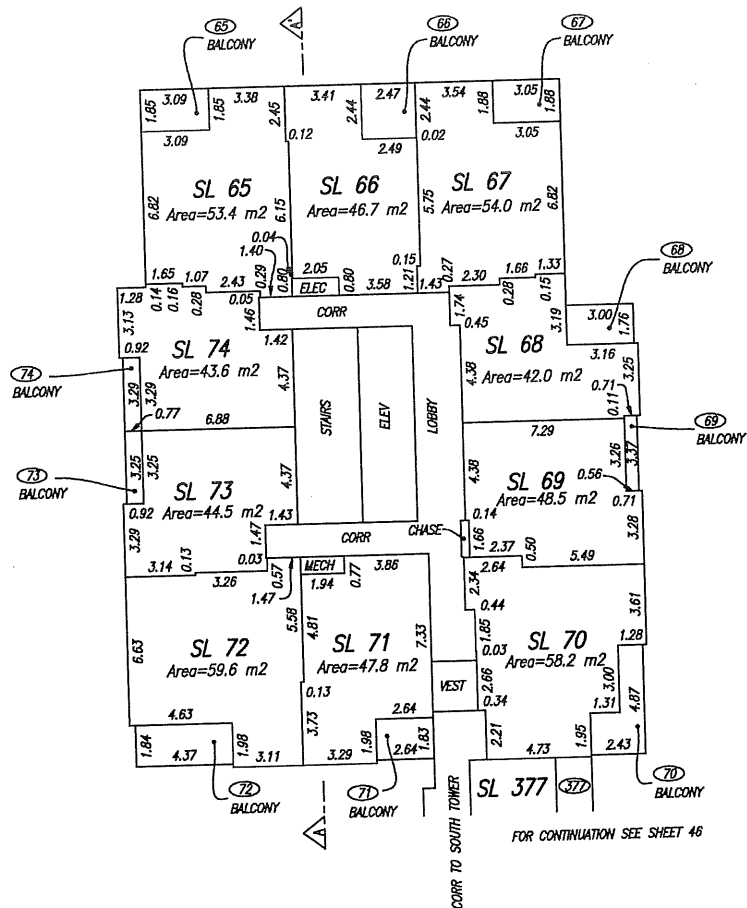
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



FOR CONTINUATION SEE SHEET 46

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

4 2 0 4 8 12 16

All distances are in metres and decimals thereof.

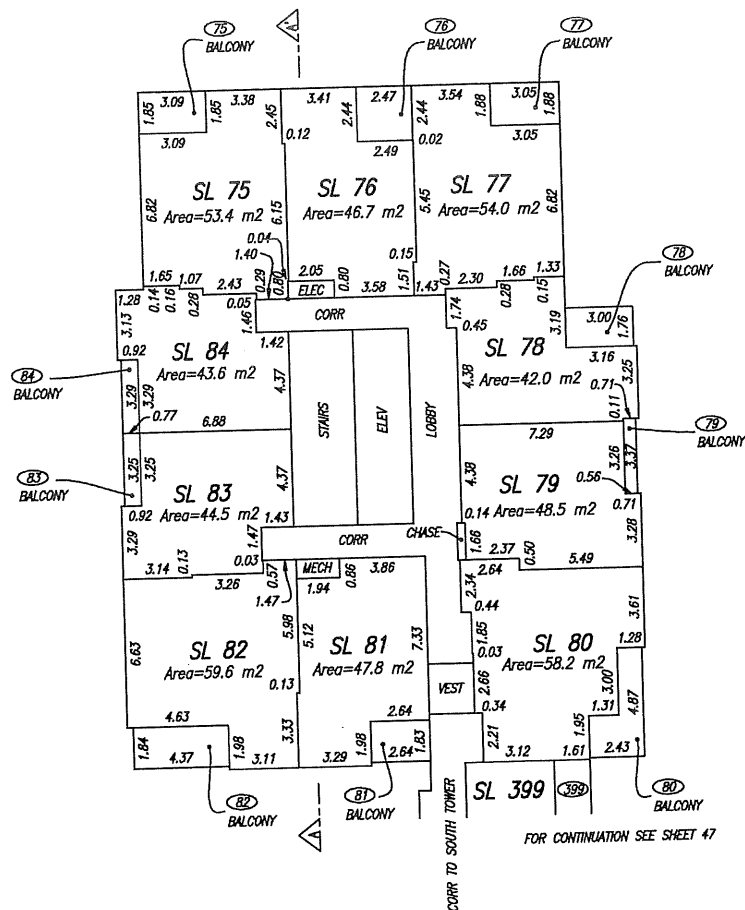
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 10****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 11

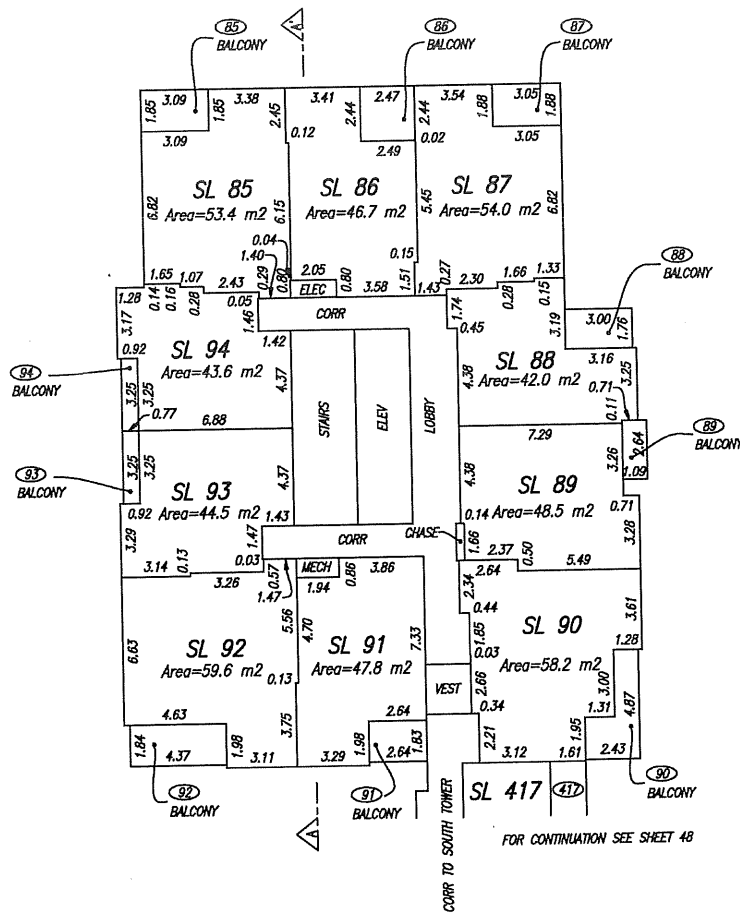
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
— TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
— TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
— TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



FOR CONTINUATION SEE SHEET 48

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 12

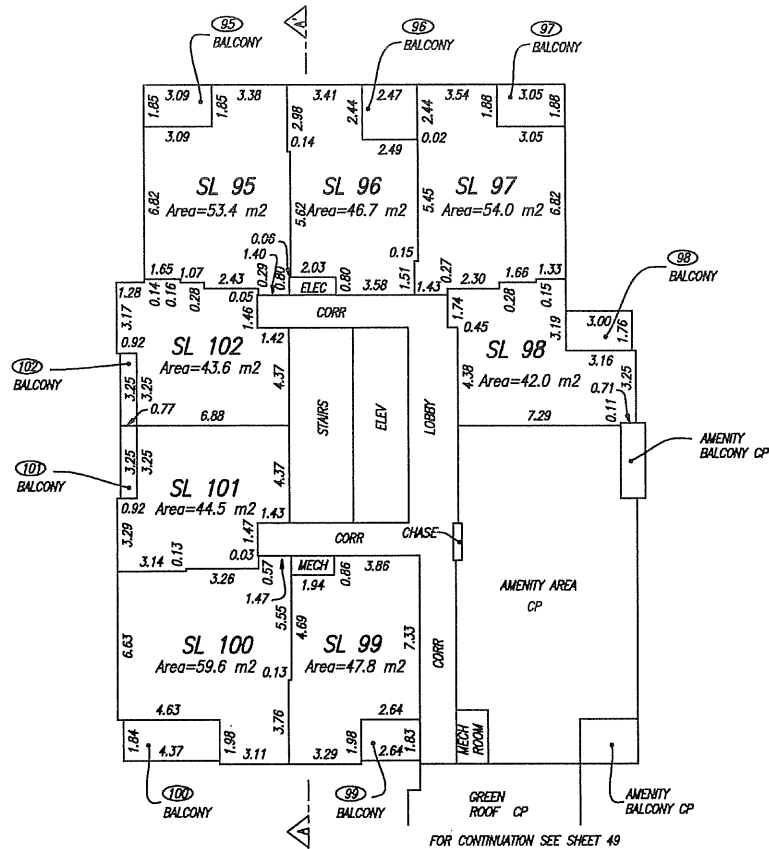
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.



FOR CONTINUATION SEE SHEET 49

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 15

STRATA PLAN EPS3434

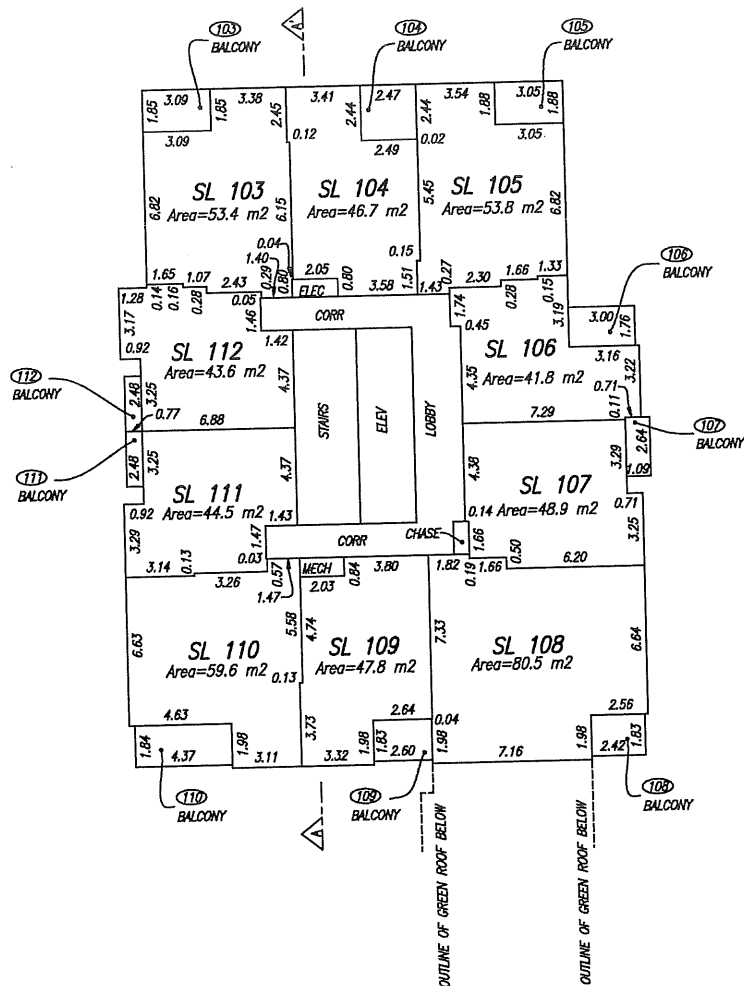
NOTE: NO LEVELS 13 OR 14

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 16

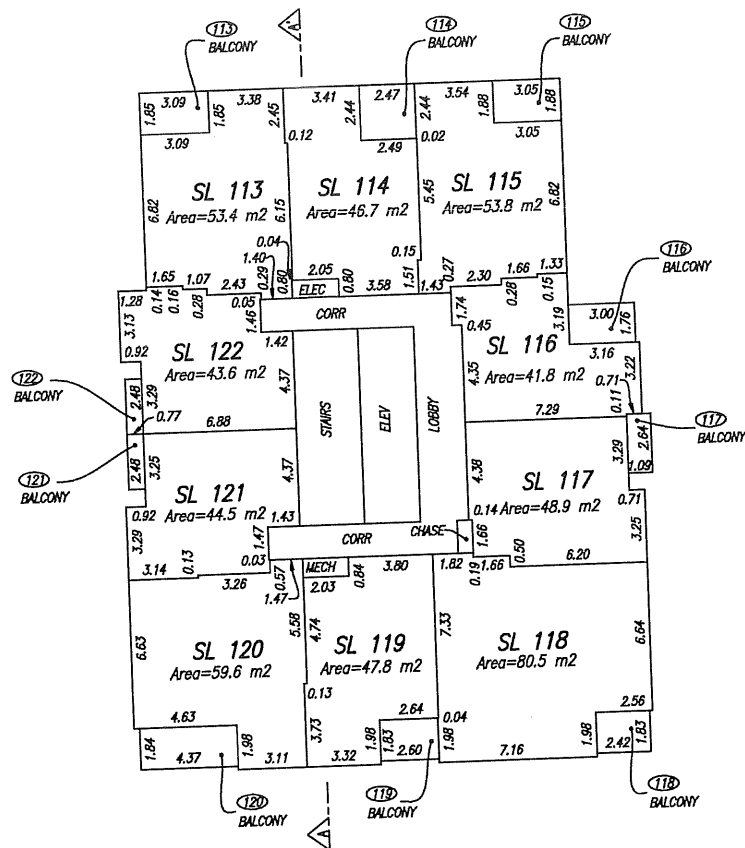
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 50mm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited, Partnership
300-65 Richmond St, New Westminster, BC

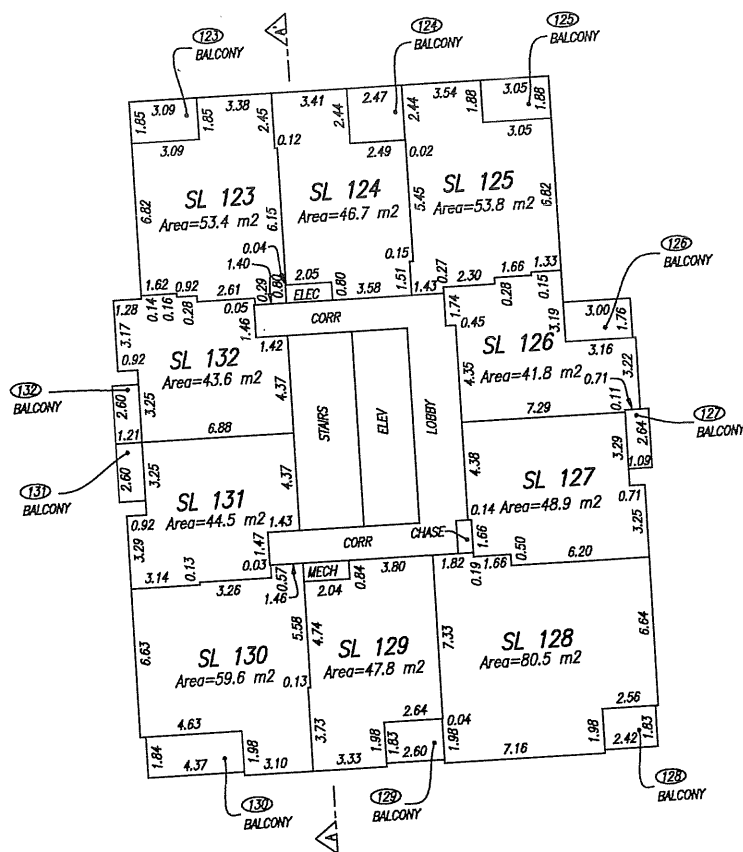
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

FLOOR PLANS
NORTH TOWER FLOOR 17

LEGEND

CP	_____	DENOTES COMMON PROPERTY
CHASE	_____	DENOTES CHASE CP
CORR	_____	DENOTES CORRIDOR CP
ELEC	_____	DENOTES ELECTRICAL SHAFT CP
ELEV	_____	DENOTES ELEVATOR CP
LOBBY	_____	DENOTES LOBBY CP
MECH	_____	DENOTES MECHANICAL SHAFT CP
SL	_____	DENOTES STRATA LOT
STAIRS	_____	DENOTES STAIRS CP
(2)	_____	DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:
 -TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 18

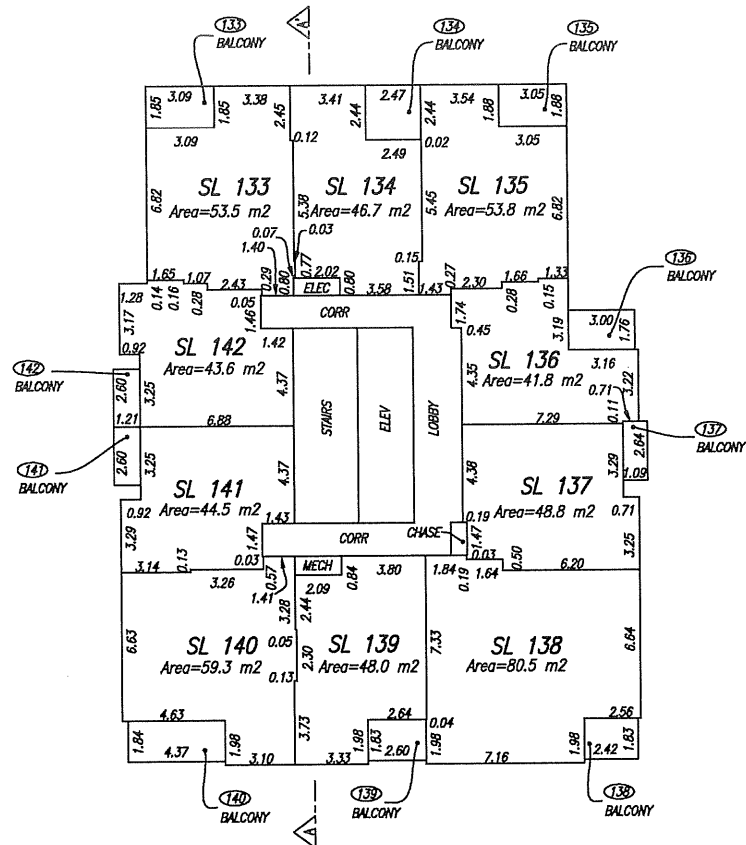
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
② ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 19

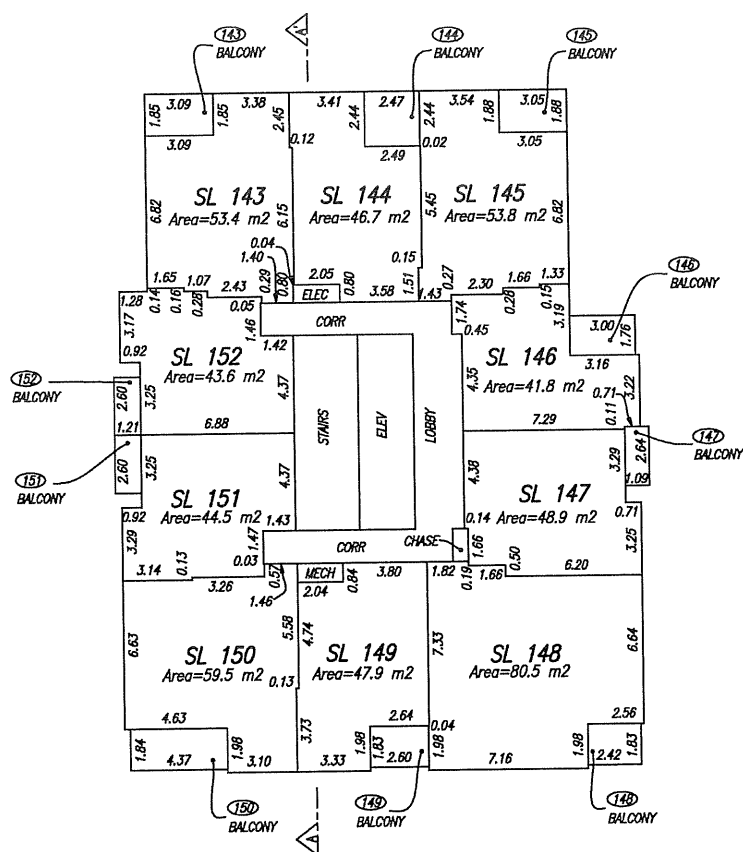
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

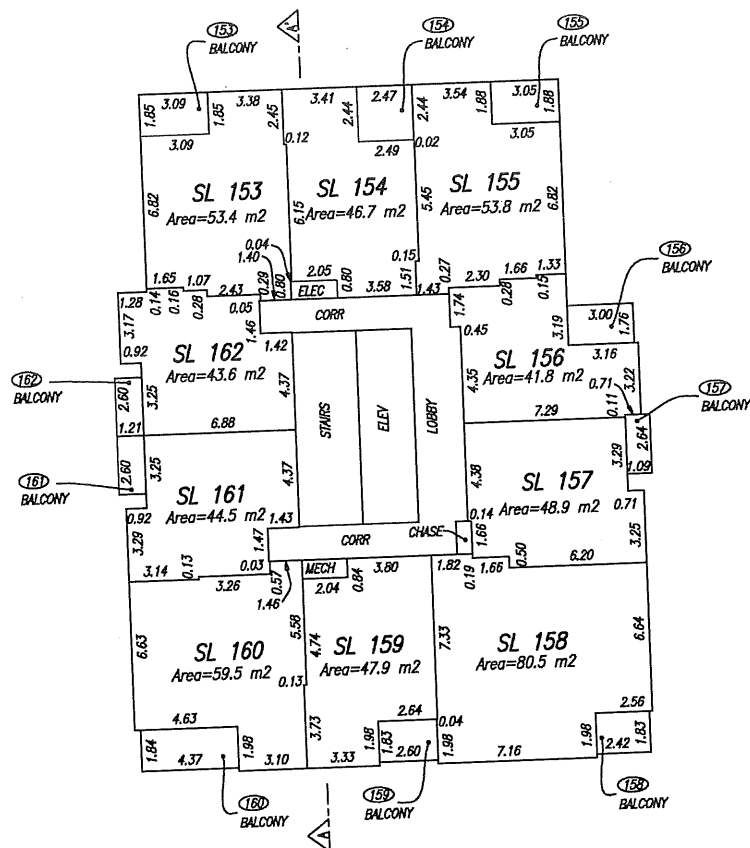
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 20****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



S:\Southwest BC MS\10448377 (2016) Working\048577 SCSU03-R00 Towers.dwg
2016/11/29 - 08:01

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 21

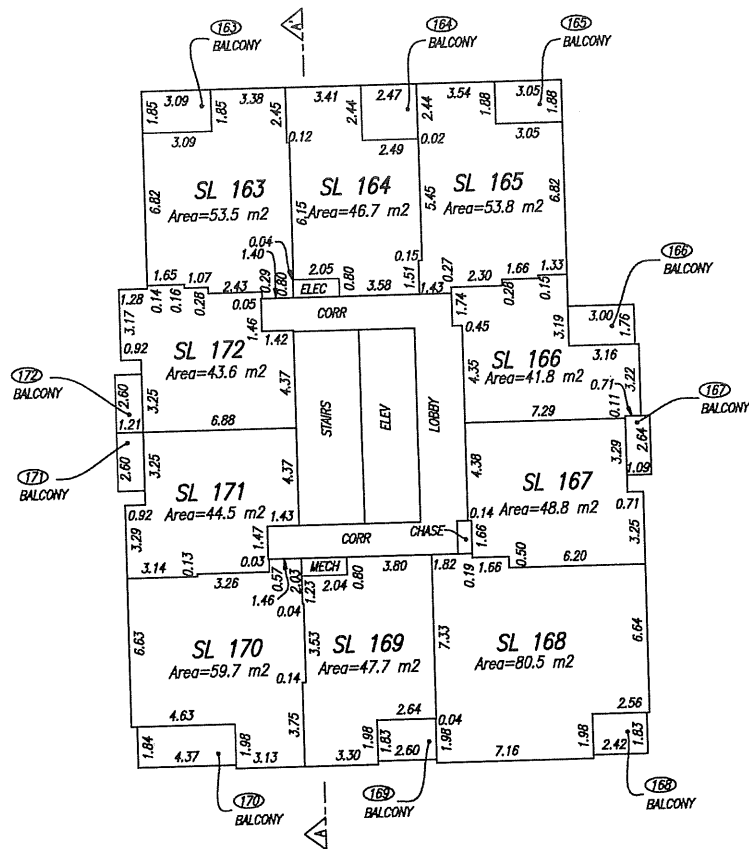
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

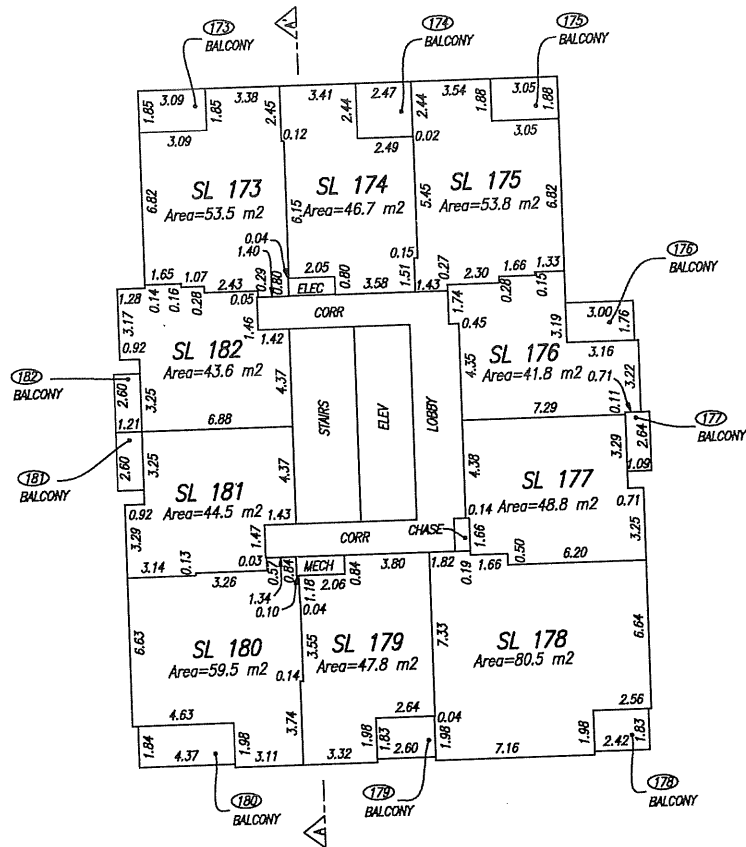
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 22****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

FLOOR PLANS NORTH TOWER FLOOR 23

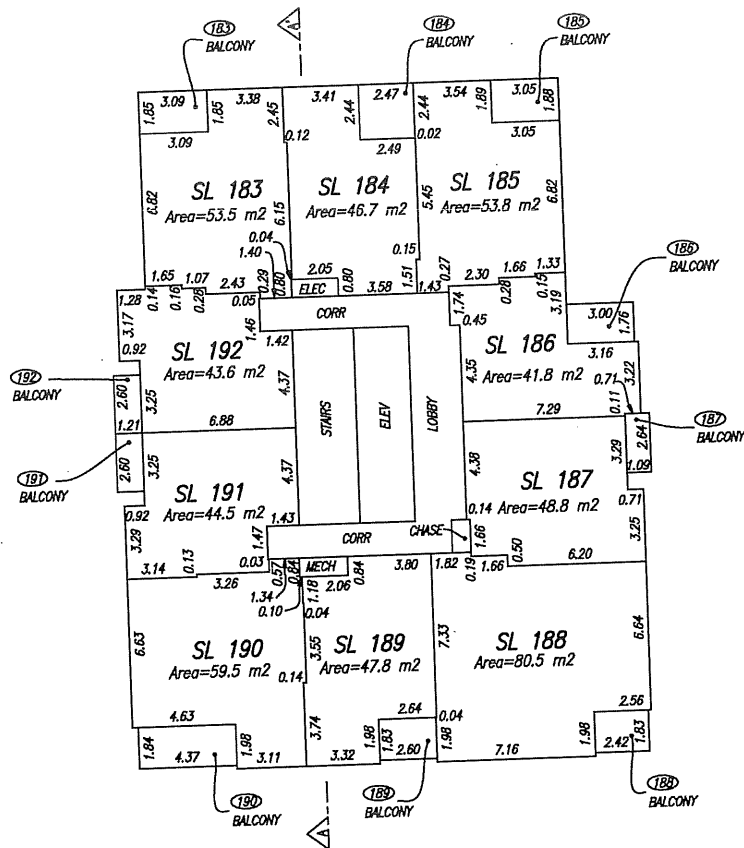
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
— TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
— TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
— TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 25****STRATA PLAN EPS3434**

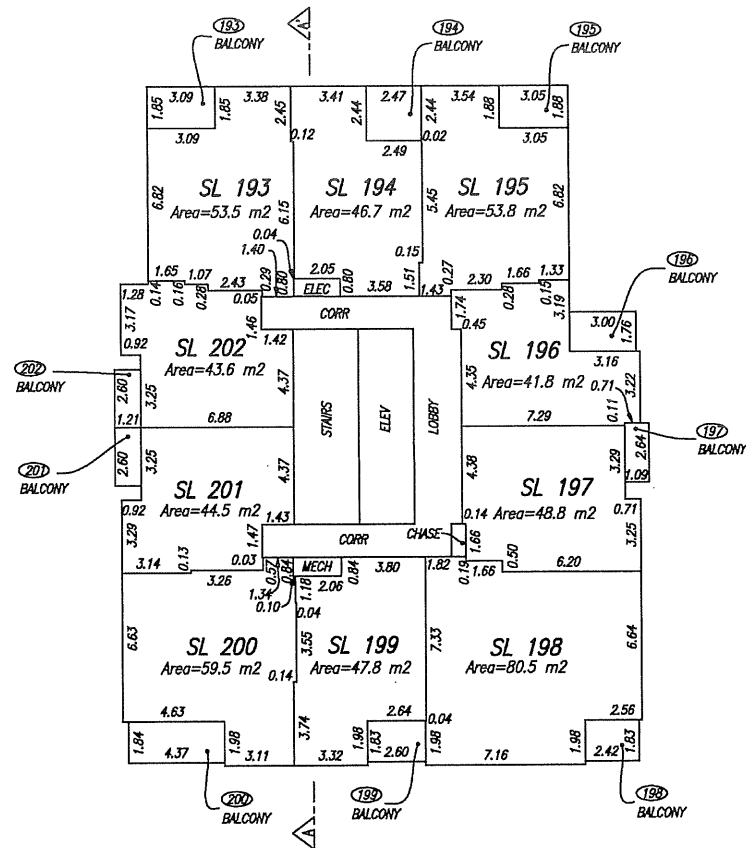
NOTE: NO LEVEL 24

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 26

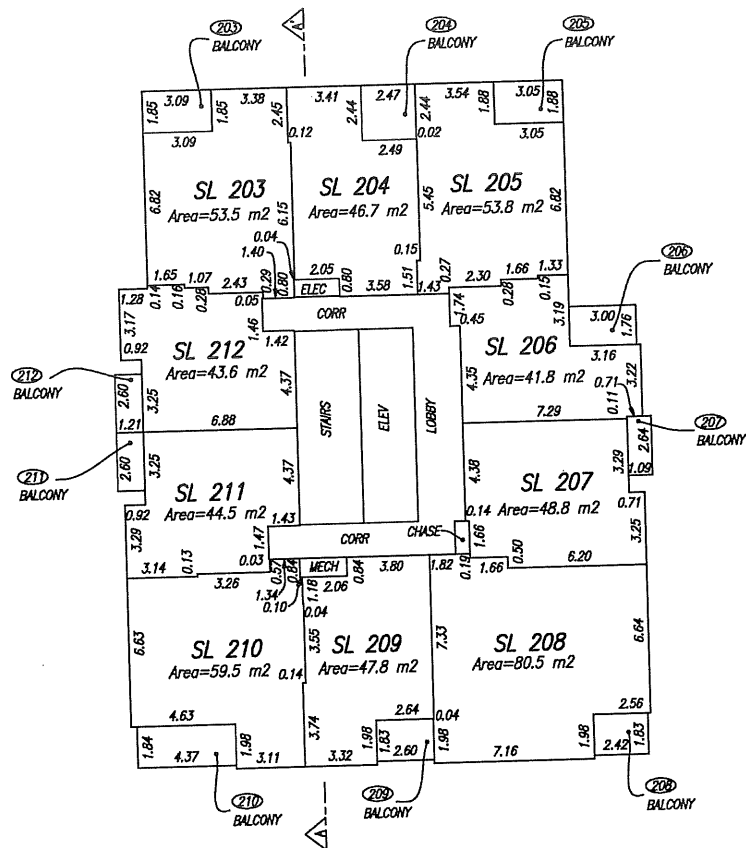
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

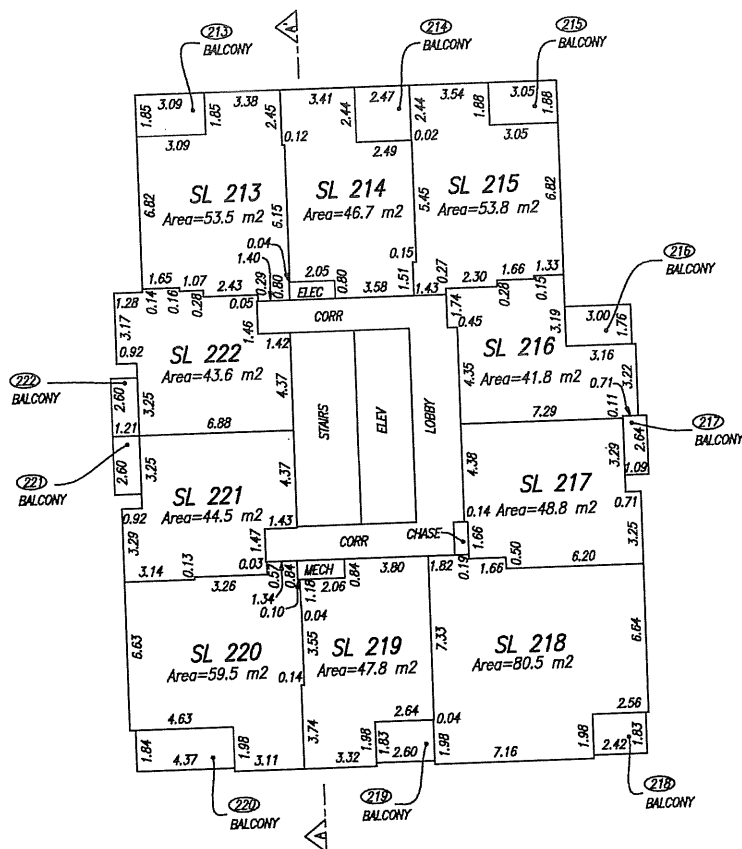
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

STRATA PLAN EPS3434

LEGEND

CP	_____	DENOTES COMMON PROPERTY
CHASE	_____	DENOTES CHASE CP
CORR	_____	DENOTES CORRIDOR CP
ELEC	_____	DENOTES ELECTRICAL SHAFT CP
ELEV	_____	DENOTES ELEVATOR CP
LOBBY	_____	DENOTES LOBBY CP
MECH	_____	DENOTES MECHANICAL SHAFT CP
SL	_____	DENOTES STRATA LOT
STAIRS	_____	DENOTES STAIRS CP
(2)	_____	DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:
 -TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.



PROJECT REF./DRAWING No.
3577 SCSU03-R00 TOWERS



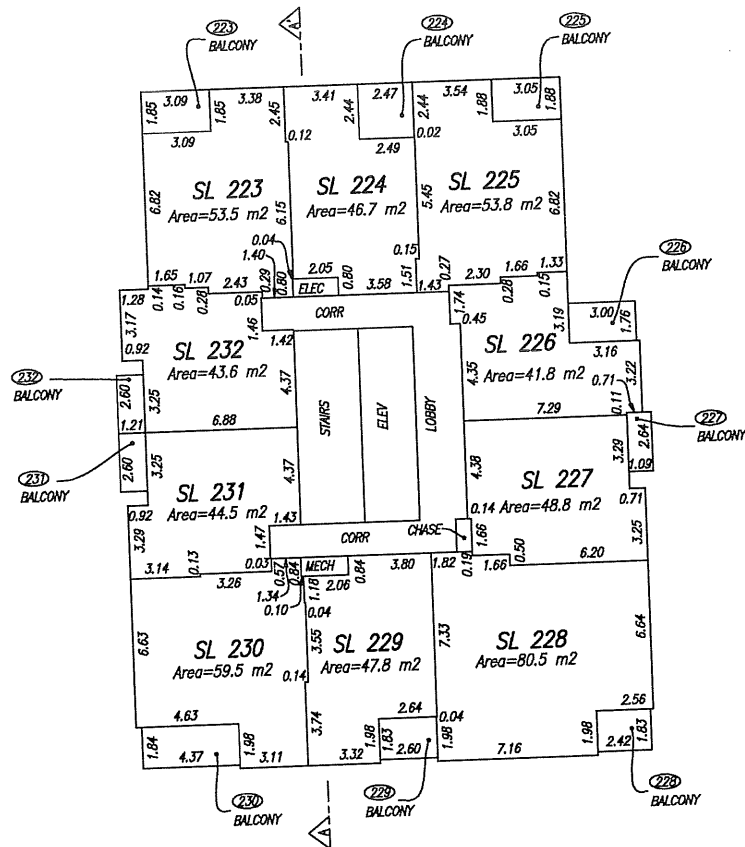
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 28****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.


 S:\Southwest BC MS\01048577 (CAD)\Working\048577 SCSU03-R00 Towers.dwg
 2016/11/29 - 09:52

Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

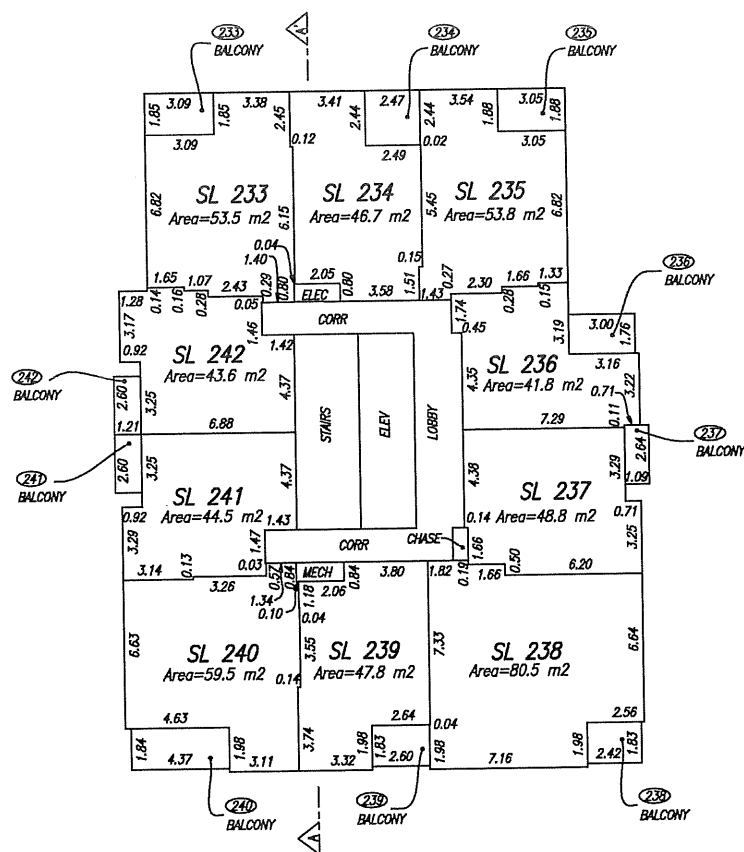
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
NORTH TOWER FLOOR 29****STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 30

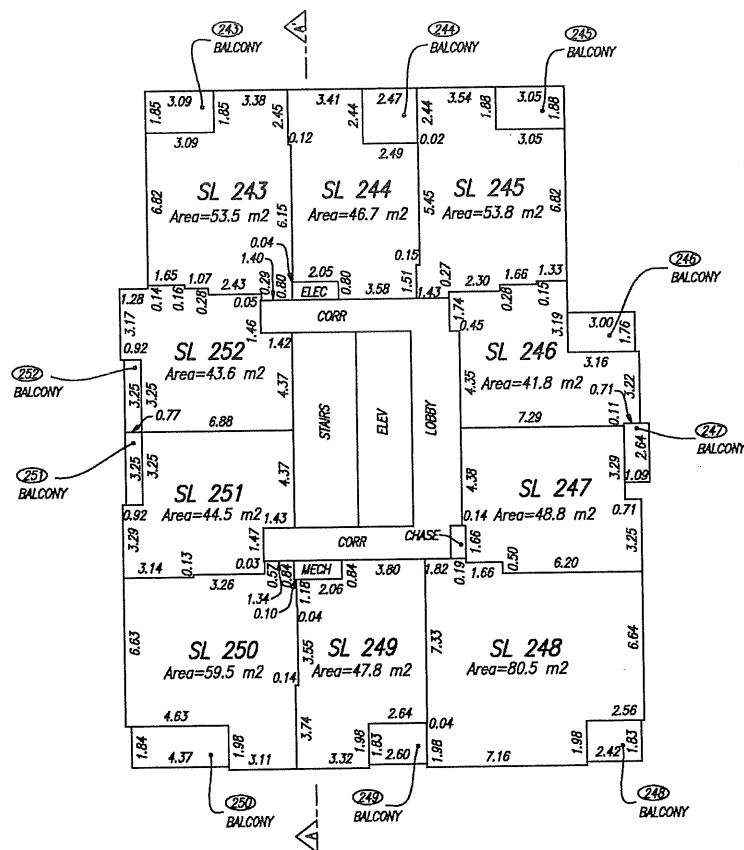
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

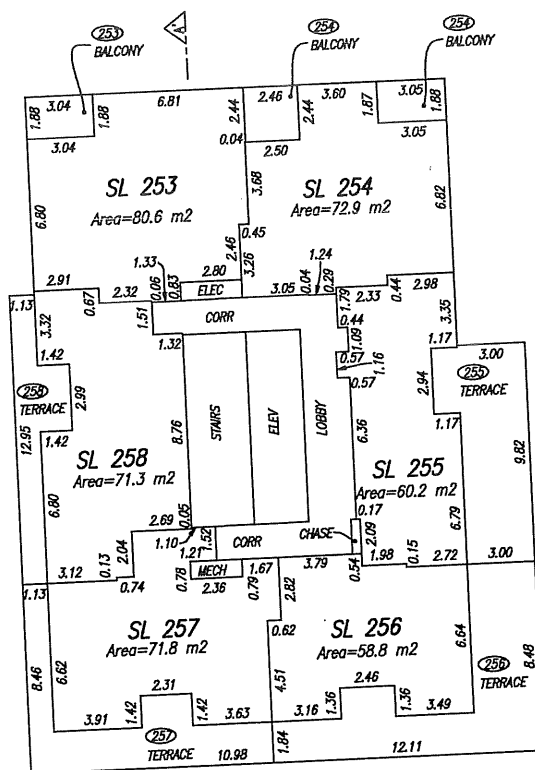
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

STRATA PLAN EPS3434

LEGEND

CP _____ DENOTES COMMON PROPERTY
CHASE _____ DENOTES CHASE CP
CORR _____ DENOTES CORRIDOR CP
ELEC _____ DENOTES ELECTRICAL SHAFT CP
ELEV _____ DENOTES ELEVATOR CP
LOBBY _____ DENOTES LOBBY CP
MECH _____ DENOTES MECHANICAL SHAFT CP
SL _____ DENOTES STRATA LOT
STAIRS _____ DENOTES STAIRS CP
(2) _____ DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:
 -TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.



PROJECT REF./DRAWING NO.
048577 SCSU03-R00 TOWERS



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 32

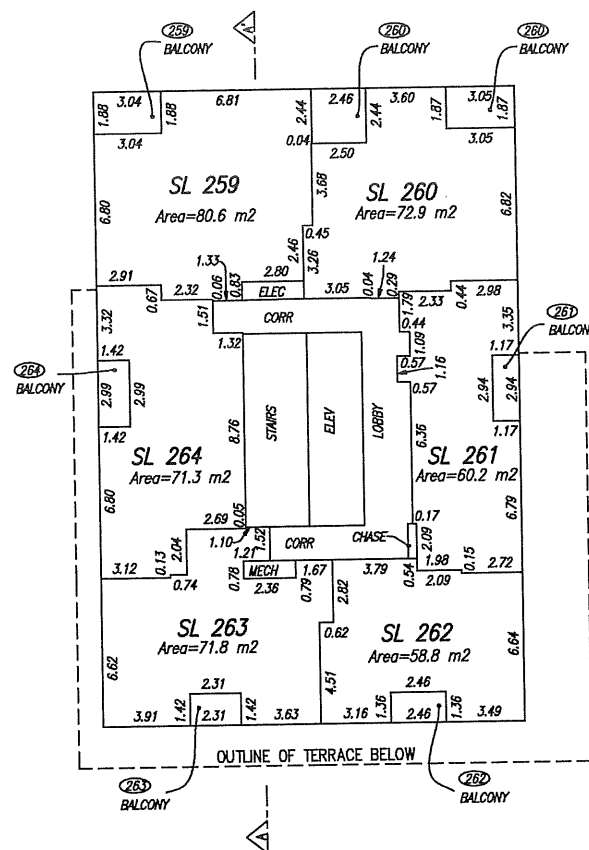
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
② ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER FLOOR 33

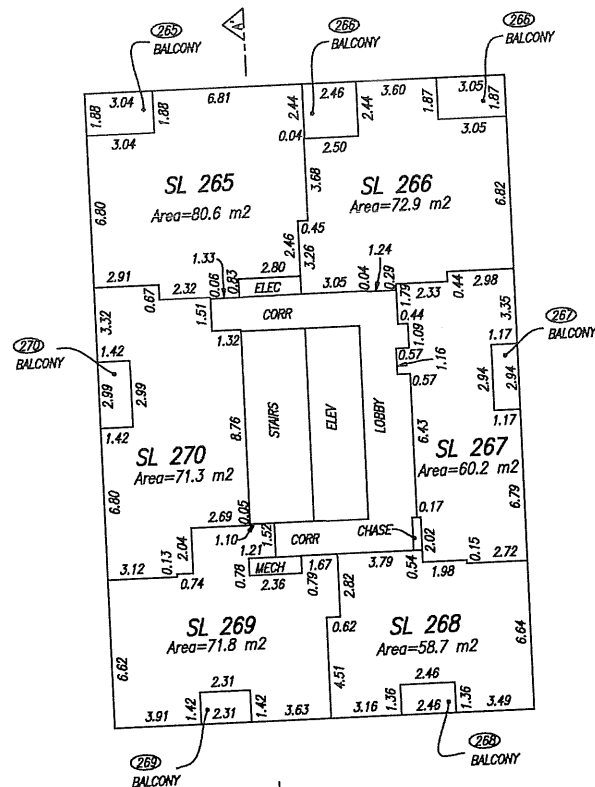
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

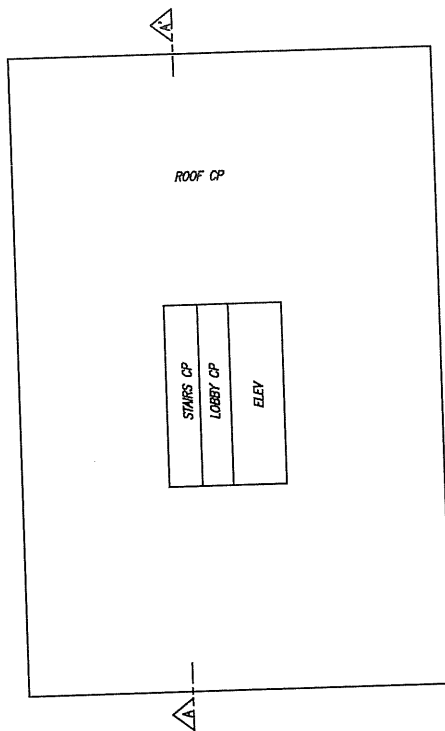
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS NORTH TOWER ROOF LEVEL AND ELEVATOR ROOF LEVELS

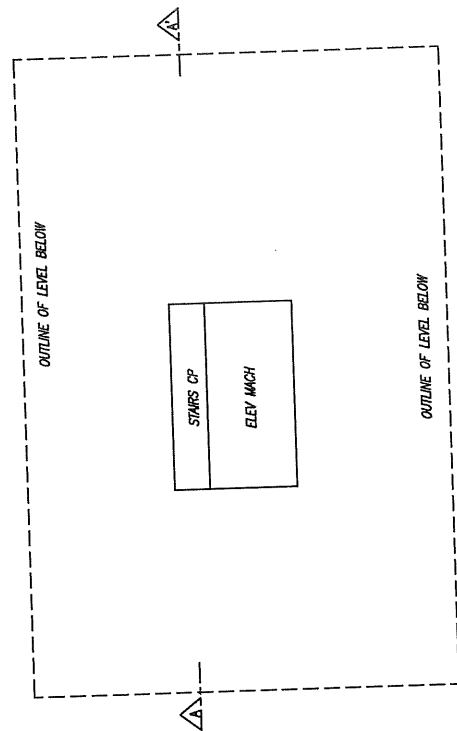
STRATA PLAN EPS3434

LEGEND

CP _____ DENOTES COMMON PROPERTY
ELEV _____ DENOTES ELEVATOR CP
MACH _____ DENOTES MACHINE ROOM CP



NORTH TOWER ROOF



ELEVATOR ROOF

2016/11/29 - 09:04 St:\admin\BC_M5\1048577\040\Work\040\048577_SCSU03-R00 Towers.dwg

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS GROUND FLOOR SOUTH TOWER

FOR FLOOR 1B SOUTH TOWER SEE SHEET 9

Sheet 40 of 72 Sheets
STRATA PLAN EPS3434

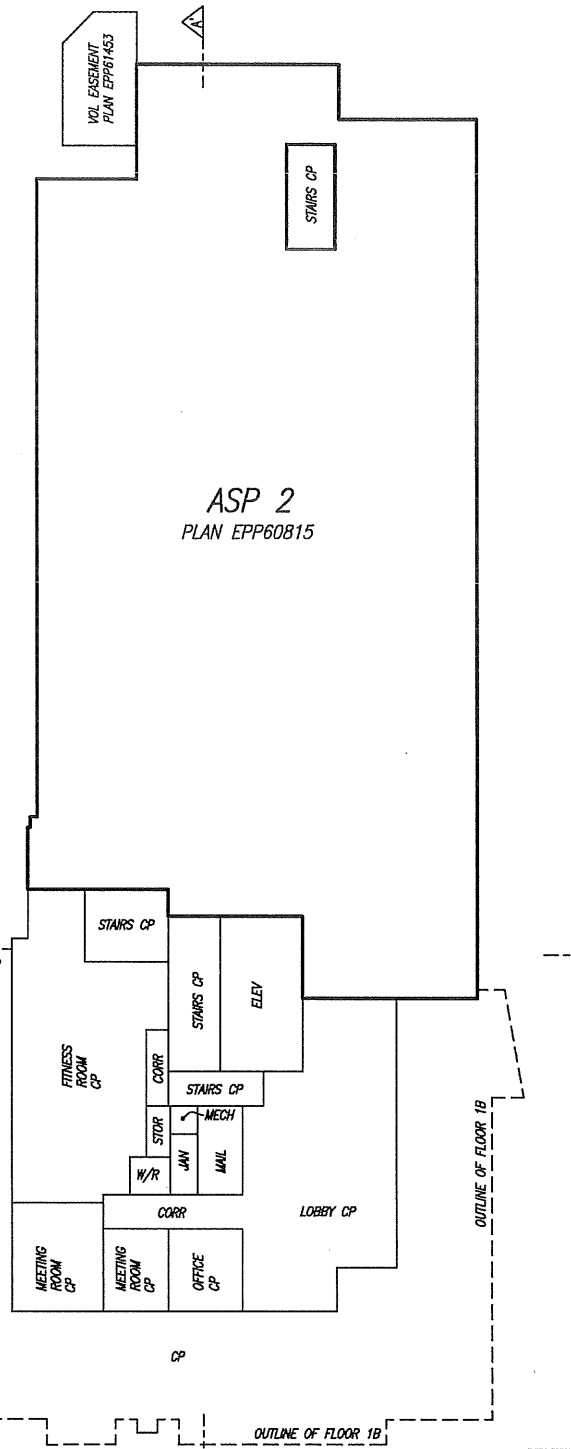
LEGEND

CP ——— DENOTES COMMON PROPERTY
CORR ——— DENOTES CORRIDOR CP
ELEV ——— DENOTES ELEVATOR CP
JAN ——— DENOTES JANITOR'S CLOSET CP
MAIL ——— DENOTES MAIL ROOM CP
MECH ——— DENOTES MECHANICAL SHAFT CP



B

OUTLINE OF FLOOR 1B



CP

LANE

5 2.5 0 5 10 15 20

All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:250.

Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

FLOOR PLANS
SOUTH TOWER FLOOR 3

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

LEGEND

- Legend
- | | | |
|--------|-------|---|
| CP | _____ | DENOTES COMMON PROPERTY |
| CHASE | _____ | DENOTES CHASE CP |
| CORR | _____ | DENOTES CORRIDOR CP |
| ELEC | _____ | DENOTES ELECTRICAL SHAFT CP |
| ELEV | _____ | DENOTES ELEVATOR CP |
| LOBBY | _____ | DENOTES LOBBY CP |
| MECH | _____ | DENOTES MECHANICAL SHAFT CP |
| SL | _____ | DENOTES STRATA LOT |
| STAIRS | _____ | DENOTES STAIRS CP |
| (2) | _____ | DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT |

METHOD OF MEASUREMENT:

- METHOD OF MEASUREMENT:**
 -TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.

Jeffrey D. Thompson BCLS
November 29, 2016

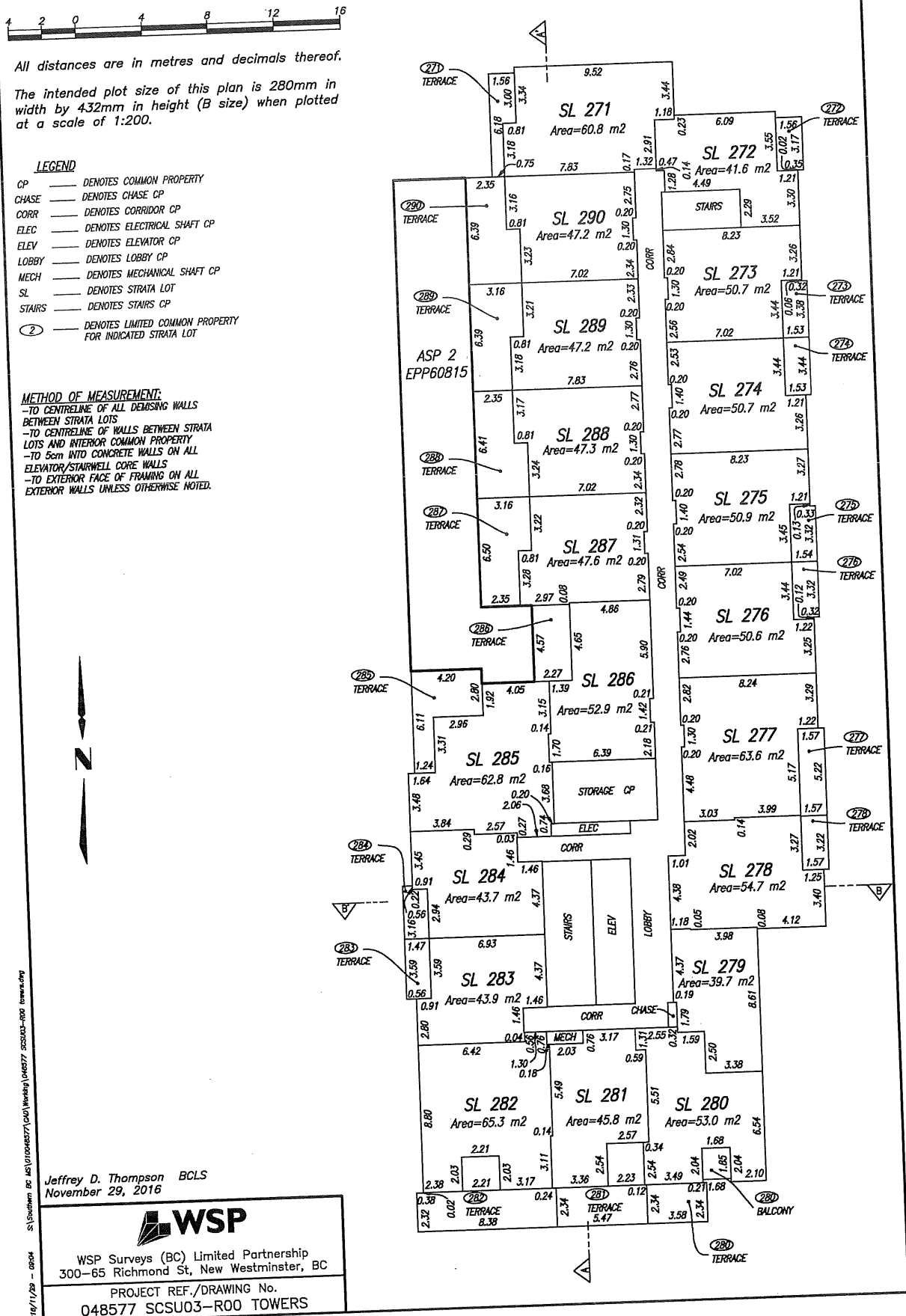


WSP Surveys (BC) Limited Partnership
200, 25 Richmond St. New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS

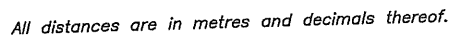
Sheet 41 of 72 Sheets

STRATA PLAN EPS3434



STRATA PLAN EPS3434

Sheet 42 of 72 Sheets



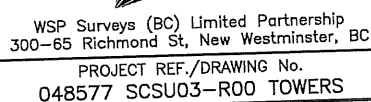
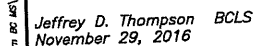
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

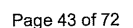
LEGEND

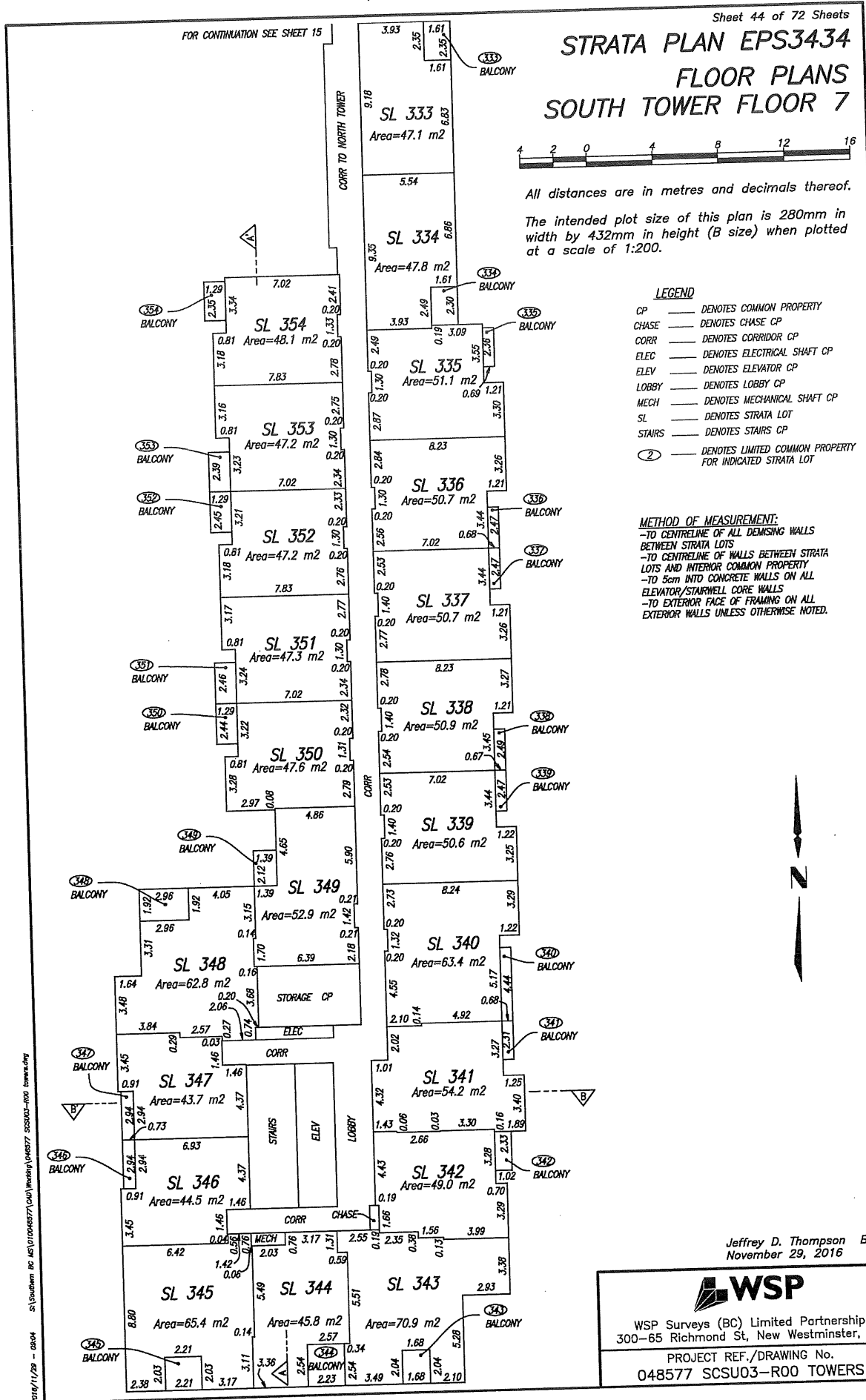
CP	DENOTES COMMON PROPERTY
CHASE	DENOTES CHASE CP
CORR	DENOTES CORRIDOR CP
ELEC	DENOTES ELECTRICAL SHAFT CP
ELEV	DENOTES ELEVATOR CP
LOBBY	DENOTES LOBBY CP
MECH	DENOTES MECHANICAL SHAFT CP
SL	DENOTES STRATA LOT
STAIRS	DENOTES STAIRS CP
(2)	DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT

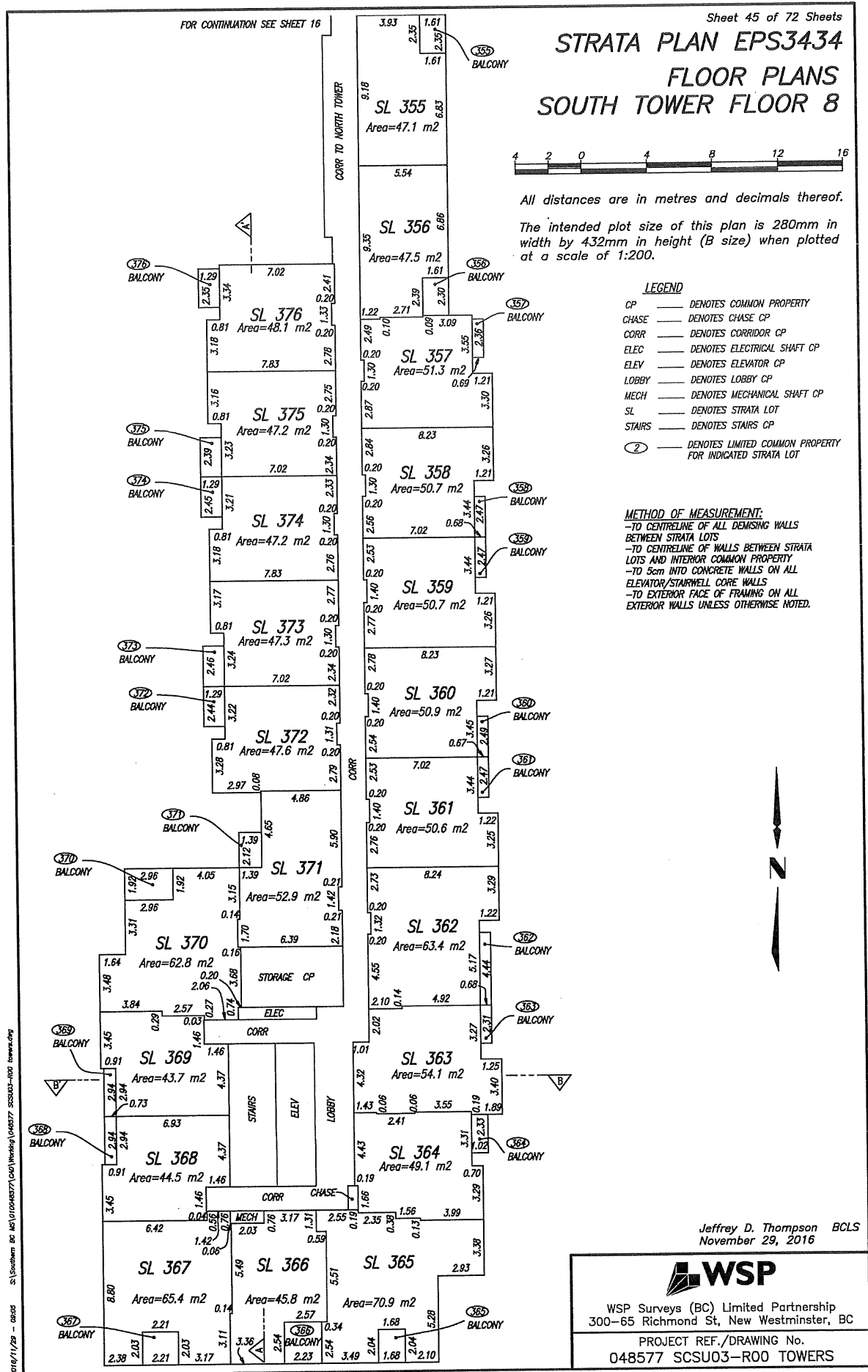
METHOD OF MEASUREMENT.

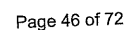
- TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
- TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
- TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
- TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.

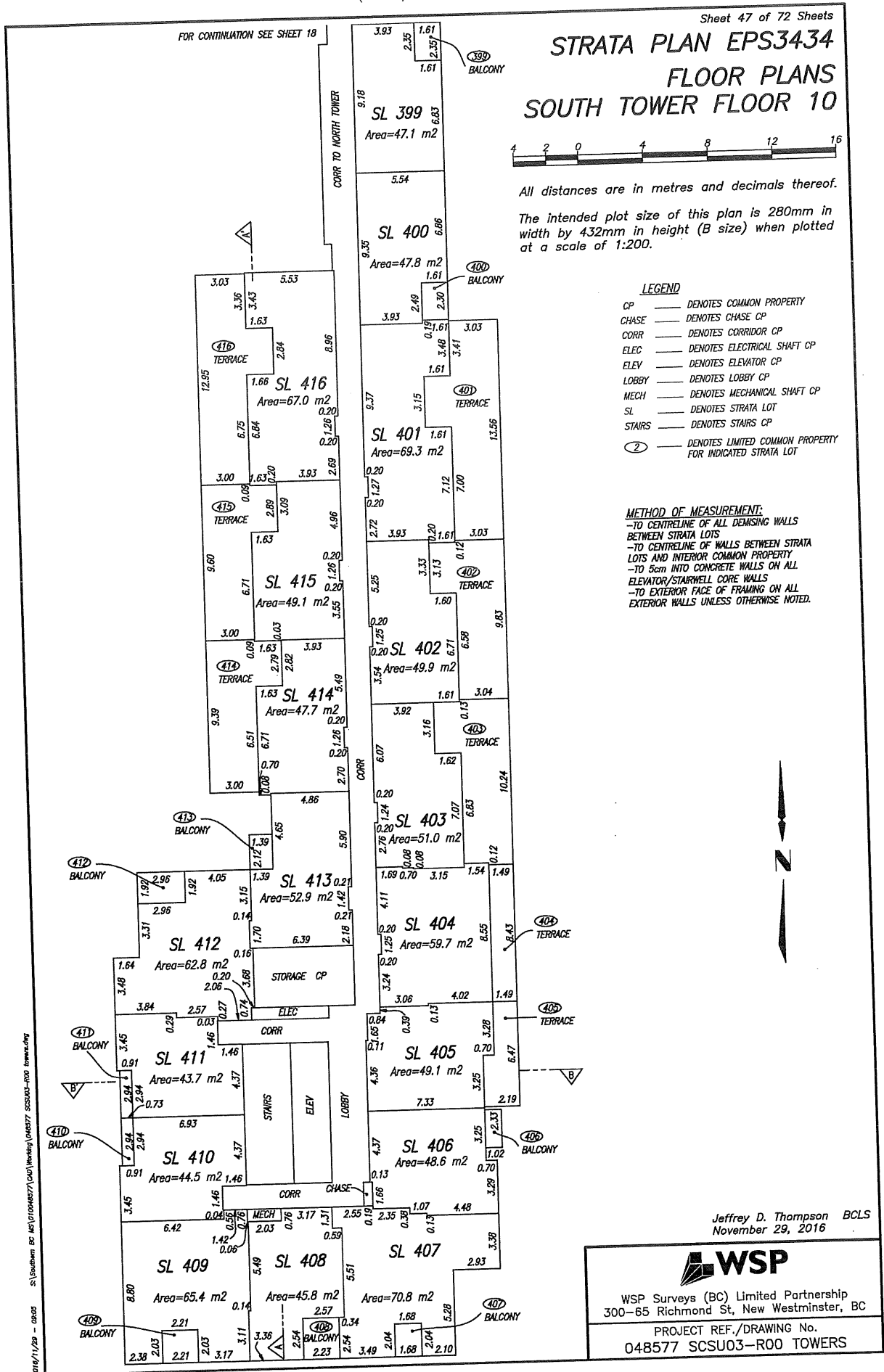


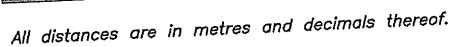












The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

LEGEND

CP	_____	DENOTES COMMON PROPERTY
CHASE	_____	DENOTES CHASE CP
CORR	_____	DENOTES CORRIDOR CP
ELEC	_____	DENOTES ELECTRICAL SHAFT CP
ELEV	_____	DENOTES ELEVATOR CP
LOBBY	_____	DENOTES LOBBY CP
MECH	_____	DENOTES MECHANICAL SHAFT CP
SL	_____	DENOTES STRATA LOT
STAIRS	_____	DENOTES STAIRS CP
(2)	_____	DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

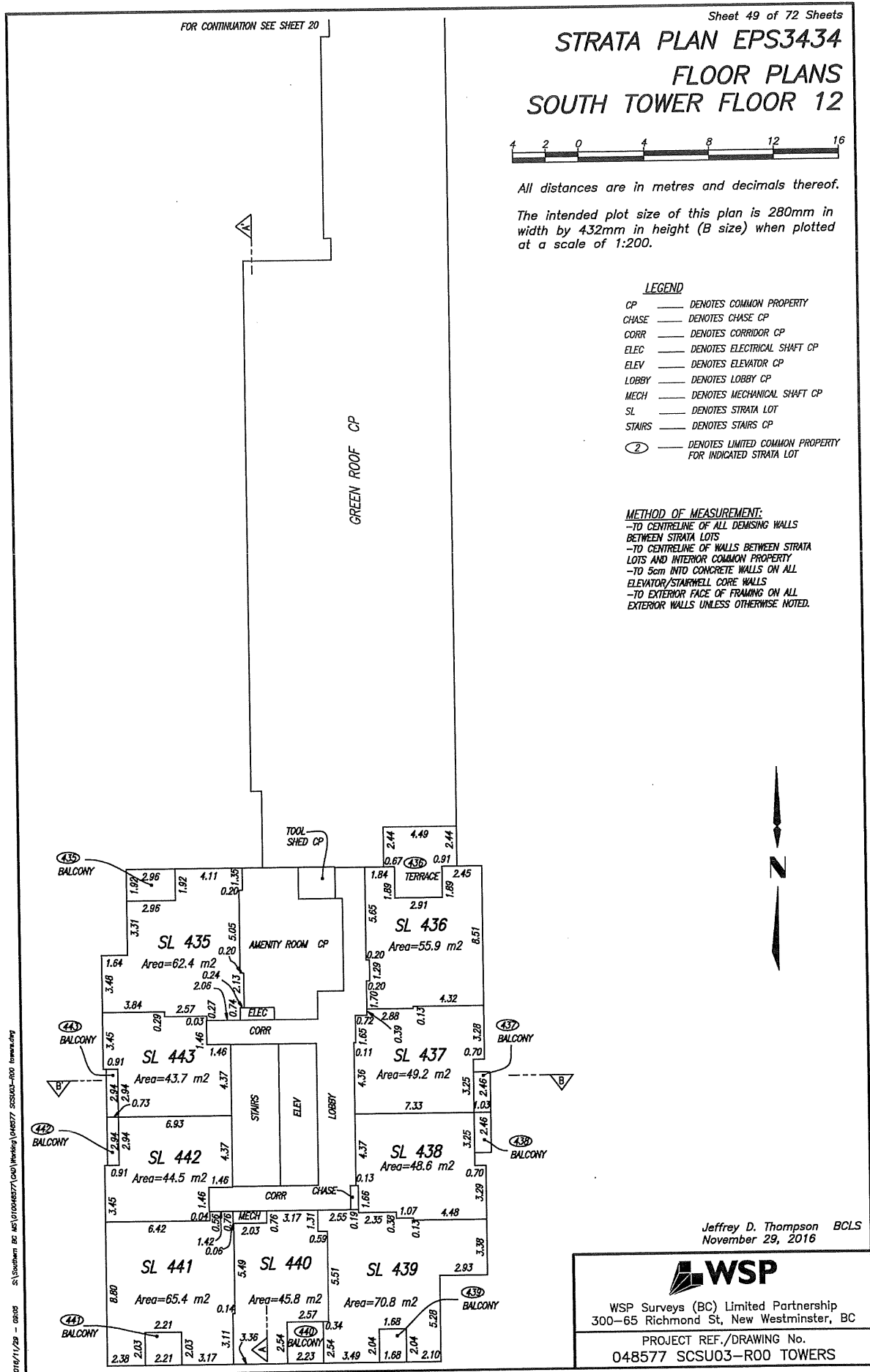
METHOD OF MEASUREMENT:
 -TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 -TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 -TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 -TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



FLOOR PLANS SOUTH TOWER FLOOR 15

STRATA PLAN EPS3434

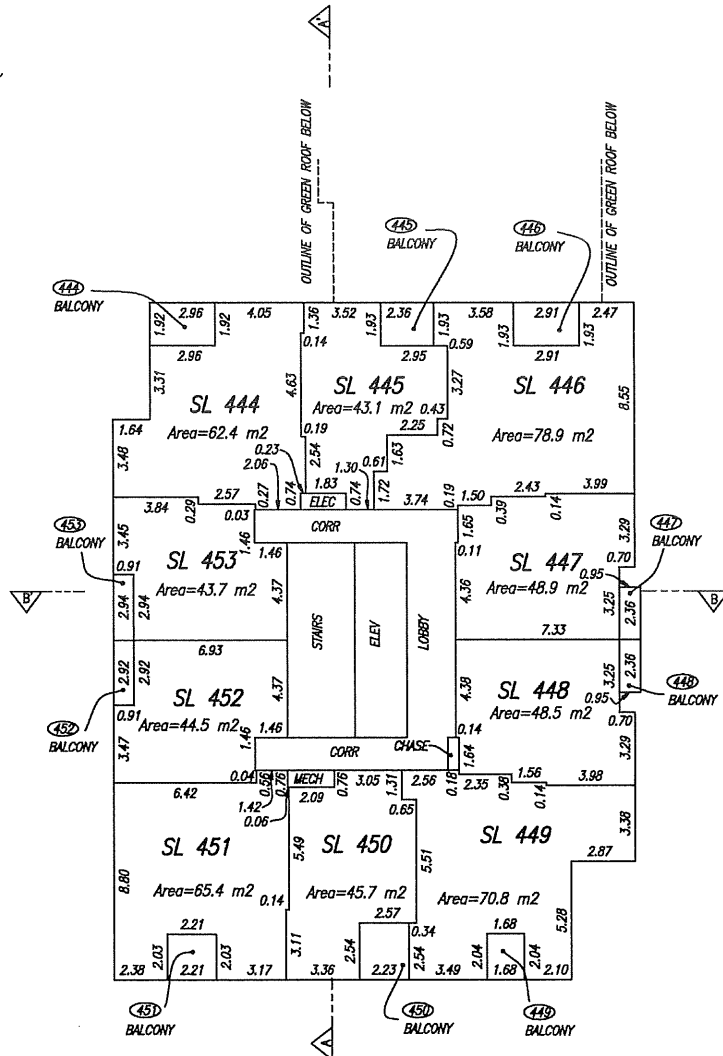
NOTE: NO LEVELS 13 OR 14

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 50mm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

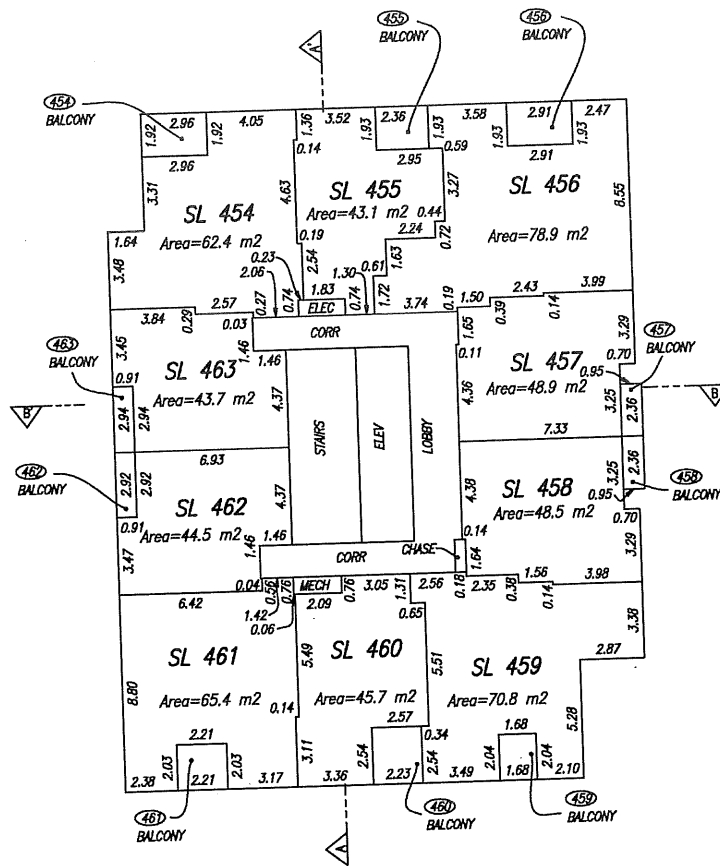
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS
SOUTH TOWER FLOOR 16**STRATA PLAN EPS3434****LEGEND**

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



S:\Southern BC\48577\10448577\CAU\Working\10448577 SCSU03-R00 towers.dwg

 Jeffrey D. Thompson BCLS
 November 29, 2016

 WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

 PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS


All distances are in metres and decimals thereof.

 The intended plot size of this plan is 280mm in
 width by 432mm in height (B size) when plotted
 at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 17

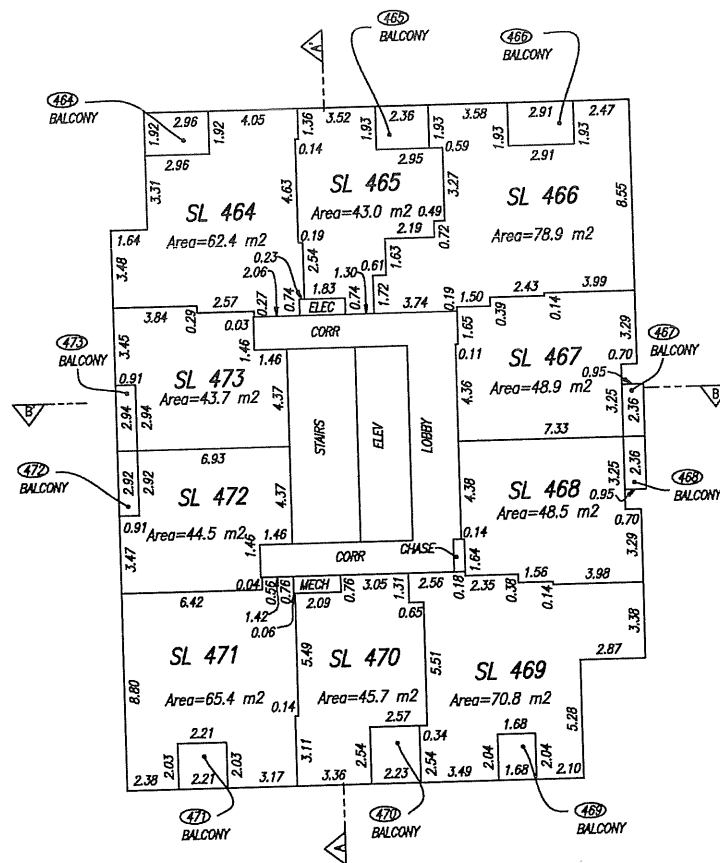
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 18

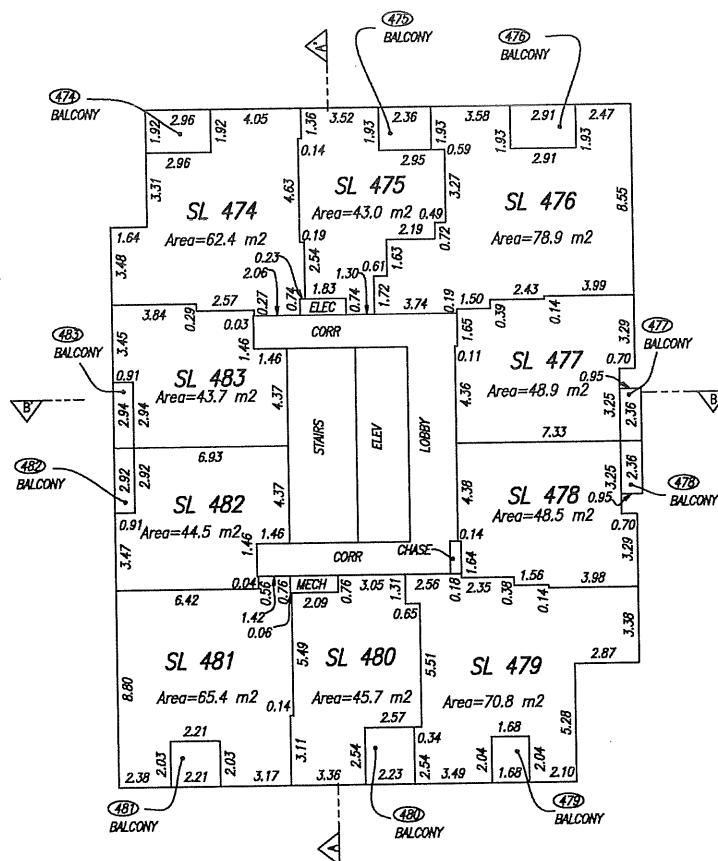
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
② ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 19

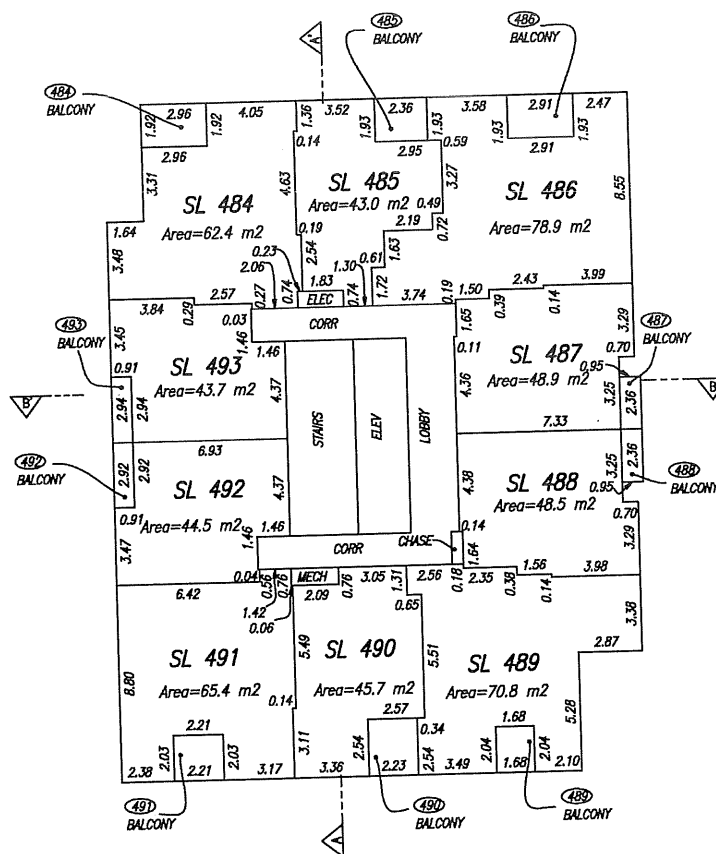
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 20

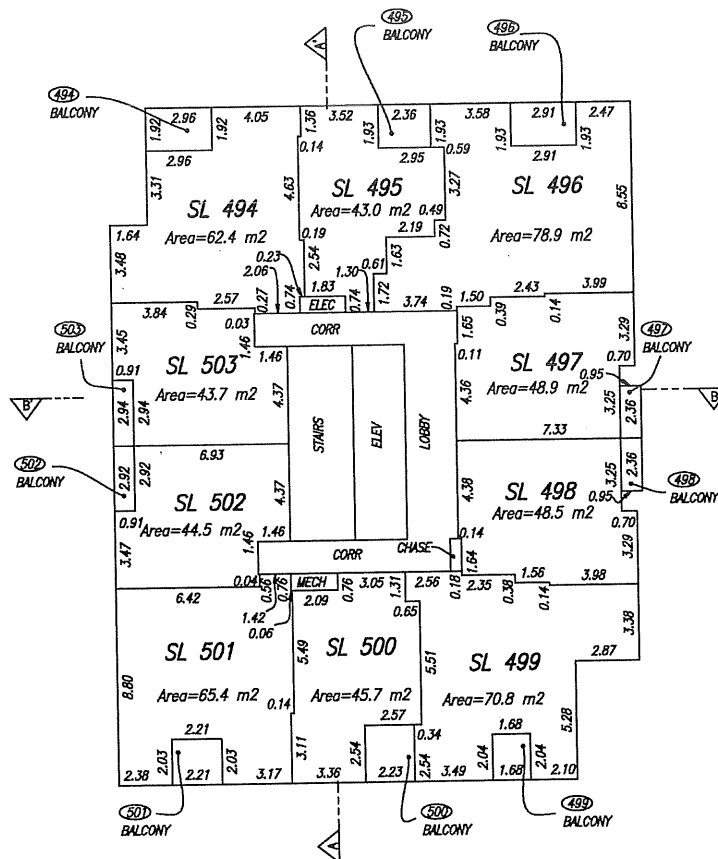
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
② ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 50mm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 21

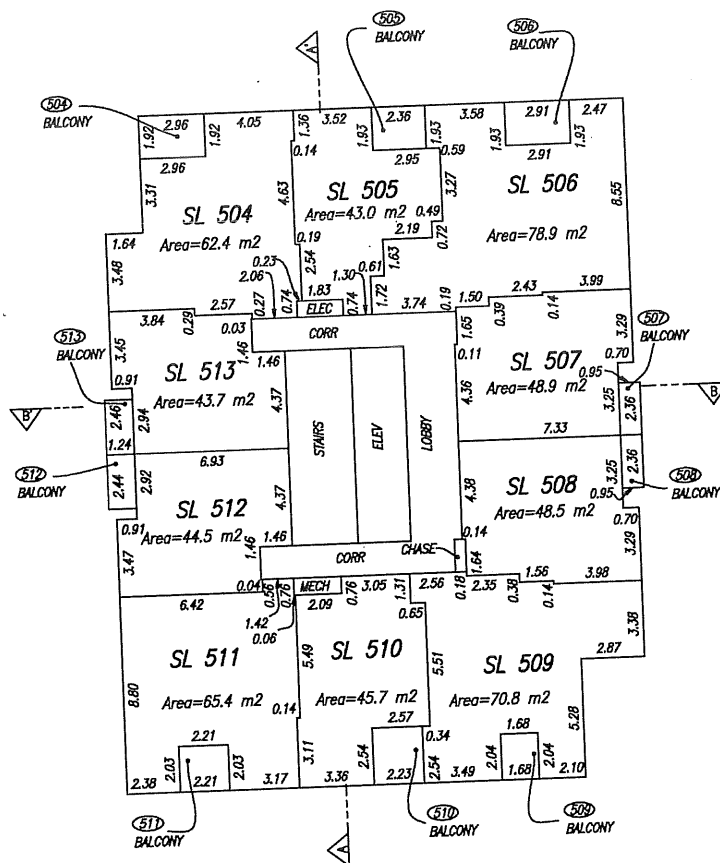
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 22

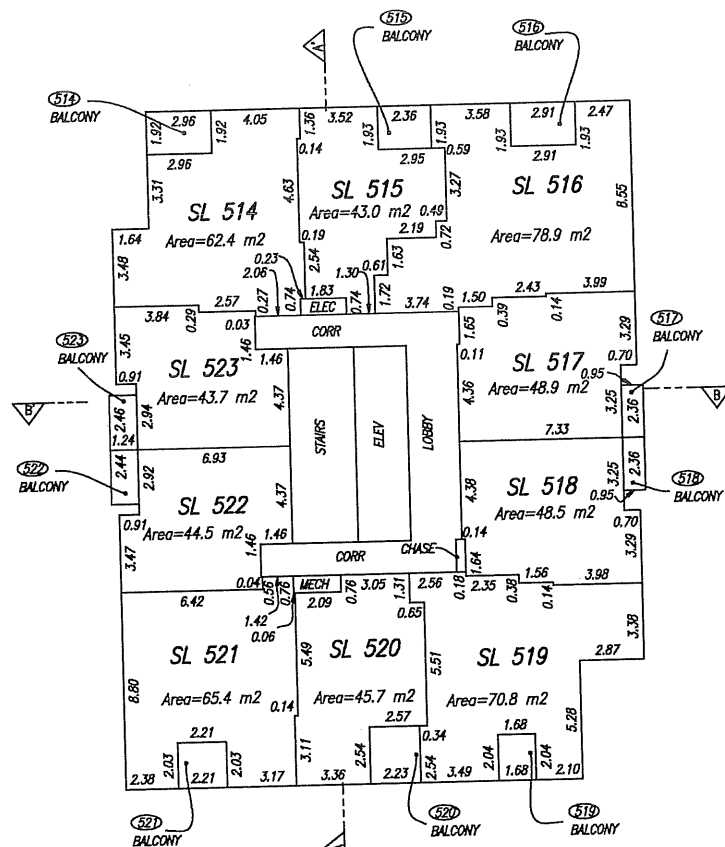
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 23

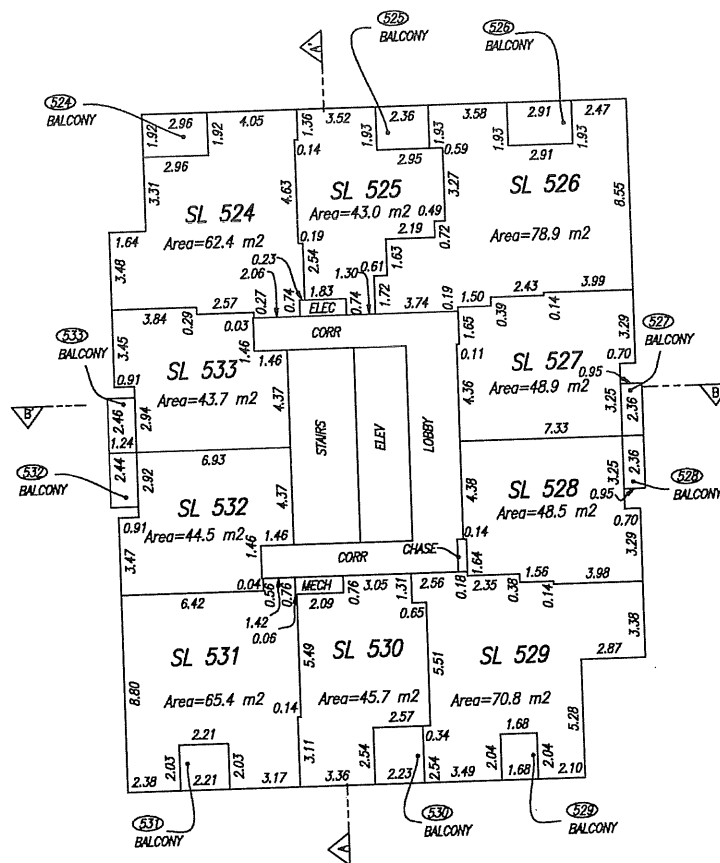
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

**FLOOR PLANS
SOUTH TOWER FLOOR 25****STRATA PLAN EPS3434**

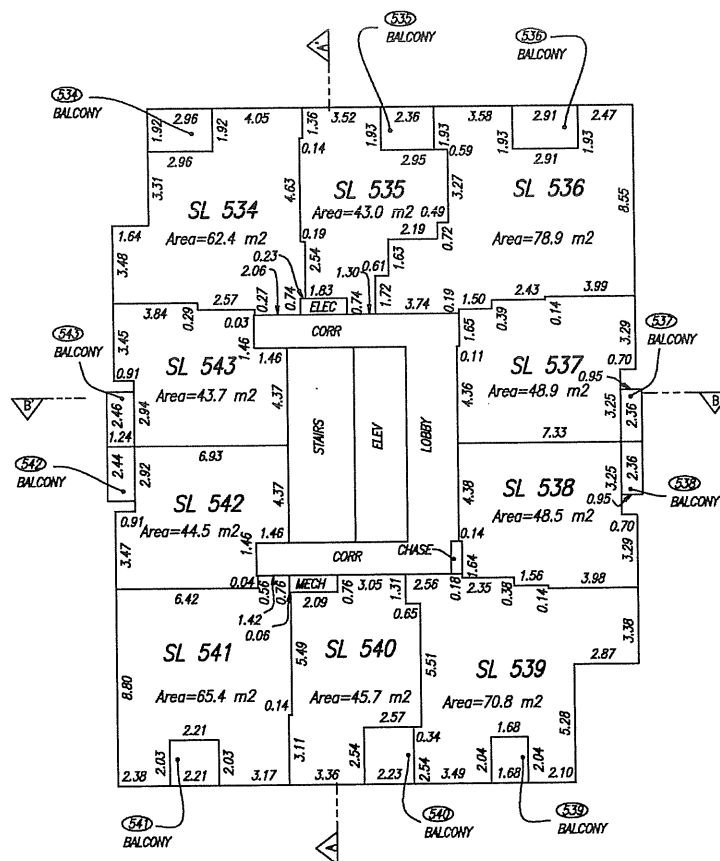
NOTE: NO LEVEL 24

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 26

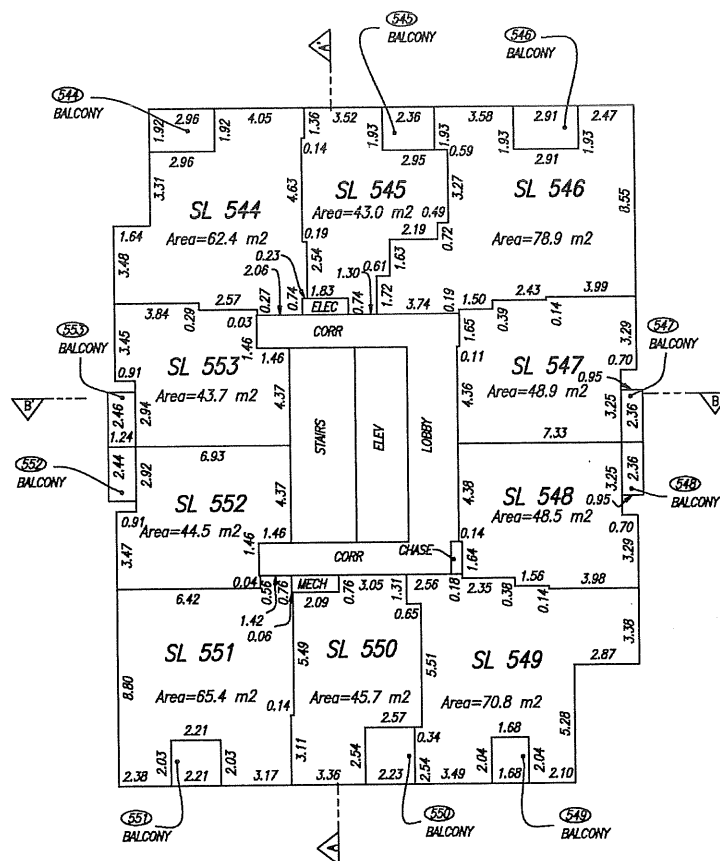
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 27

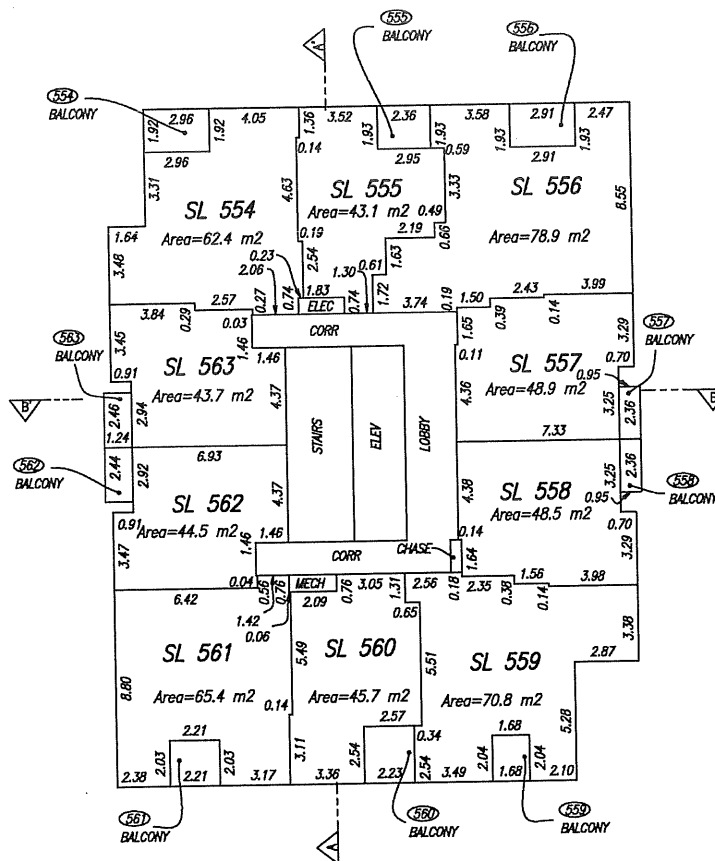
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 28

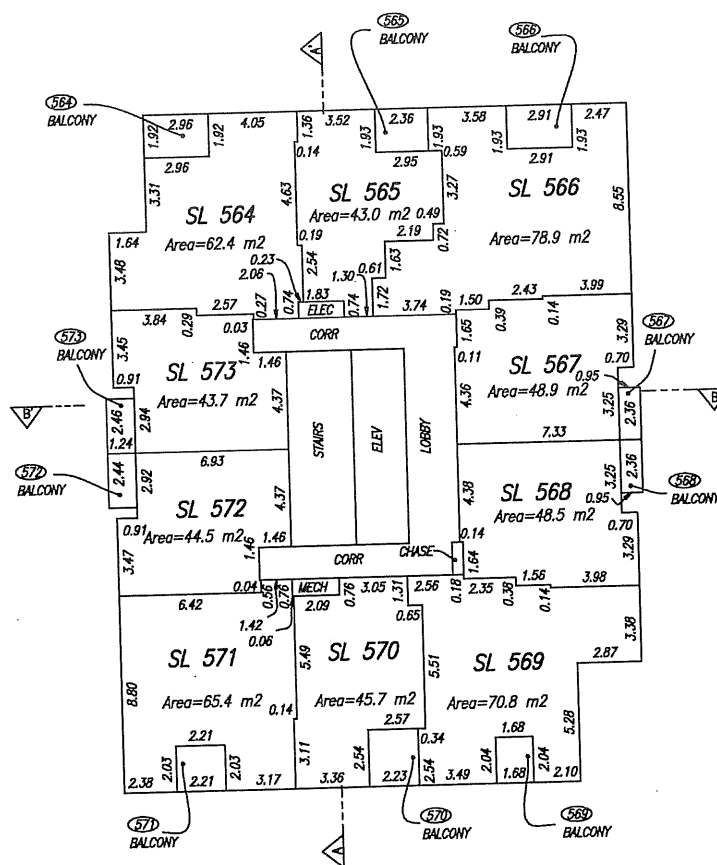
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

STRATA PLAN EPS3434

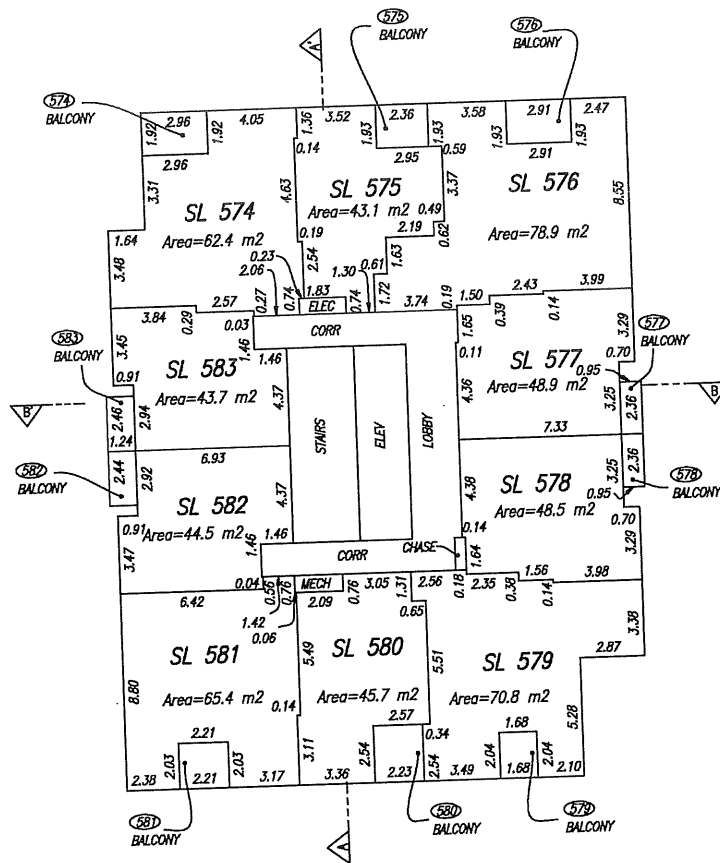
FLOOR PLANS
SOUTH TOWER FLOOR 29

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 50mm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 30

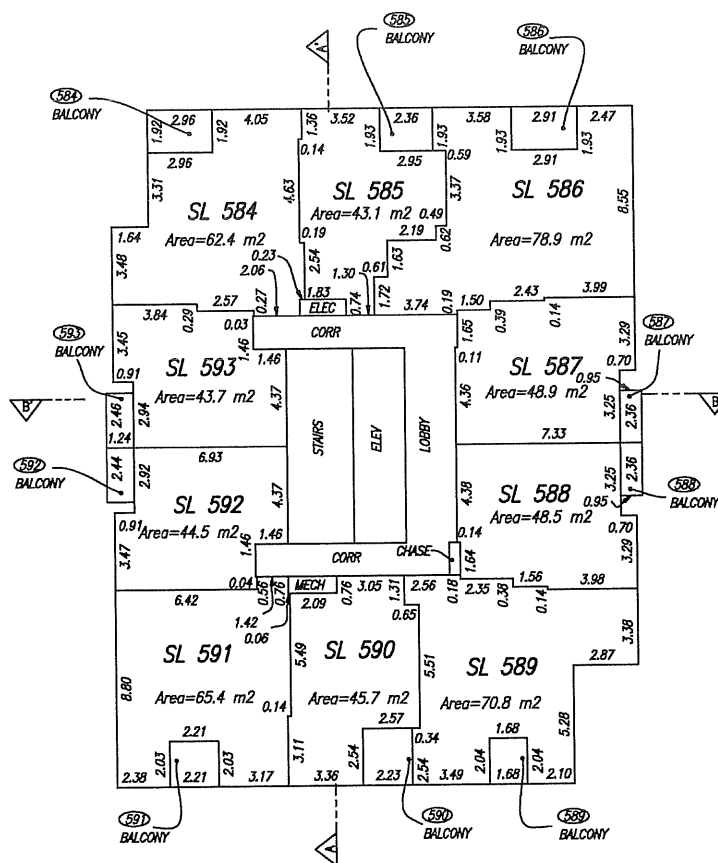
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS

SOUTH TOWER FLOOR 31

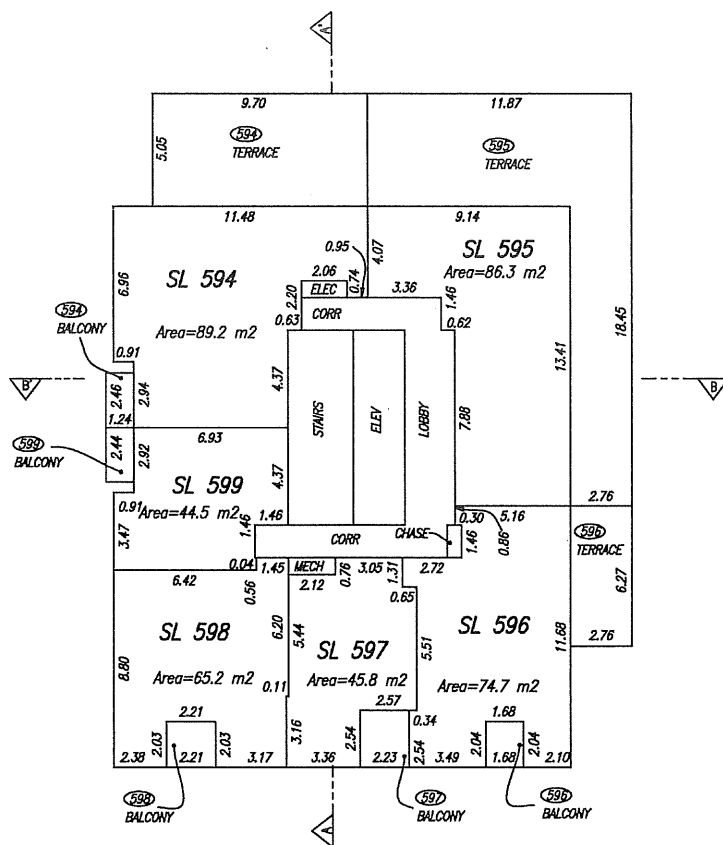
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

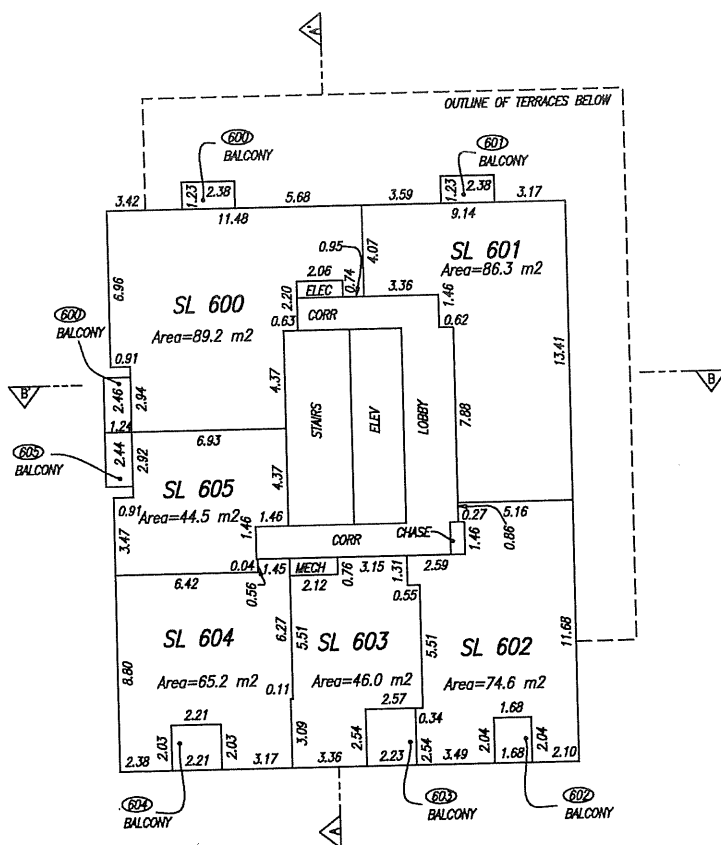
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

LEGEND

- Legend
- | | | |
|--------|-------|---|
| CP | _____ | DENOTES COMMON PROPERTY |
| CHASE | _____ | DENOTES CHASE CP |
| CORR | _____ | DENOTES CORRIDOR CP |
| ELEC | _____ | DENOTES ELECTRICAL SHAFT CP |
| ELEV | _____ | DENOTES ELEVATOR CP |
| LOBBY | _____ | DENOTES LOBBY CP |
| MECH | _____ | DENOTES MECHANICAL SHAFT CP |
| SL | _____ | DENOTES STRATA LOT |
| STAIRS | _____ | DENOTES STAIRS CP |
| (2) | _____ | DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT |

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS BETWEEN STRATA LOTS
- TO CENTRELINE OF WALLS BETWEEN STRATA LOTS AND INTERIOR COMMON PROPERTY
- TO 5cm INTO CONCRETE WALLS ON ALL ELEVATOR/STAIRWELL CORE WALLS
- TO EXTERIOR FACE OF FRAMING ON ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC
PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 33

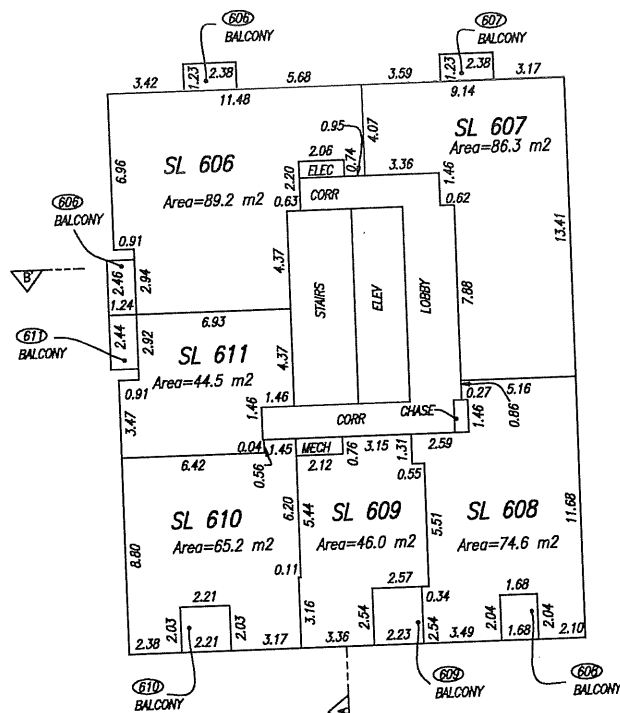
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
CHASE ——— DENOTES CHASE CP
CORR ——— DENOTES CORRIDOR CP
ELEC ——— DENOTES ELECTRICAL SHAFT CP
ELEV ——— DENOTES ELEVATOR CP
LOBBY ——— DENOTES LOBBY CP
MECH ——— DENOTES MECHANICAL SHAFT CP
SL ——— DENOTES STRATA LOT
STAIRS ——— DENOTES STAIRS CP
(2) ——— DENOTES LIMITED COMMON PROPERTY
FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
BETWEEN STRATA LOTS
—TO CENTRELINE OF WALLS BETWEEN STRATA
LOTS AND INTERIOR COMMON PROPERTY
—TO 5cm INTO CONCRETE WALLS ON ALL
ELEVATOR/STAIRWELL CORE WALLS
—TO EXTERIOR FACE OF FRAMING ON ALL
EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 35

STRATA PLAN EPS3434

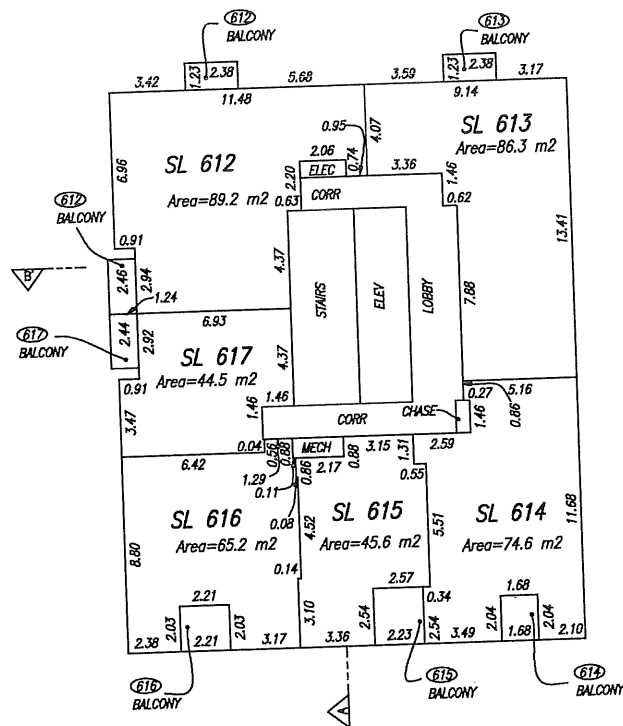
NOTE: NO LEVEL 34

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 — BETWEEN STRATA LOTS
 — TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 — TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 — TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER FLOOR 36

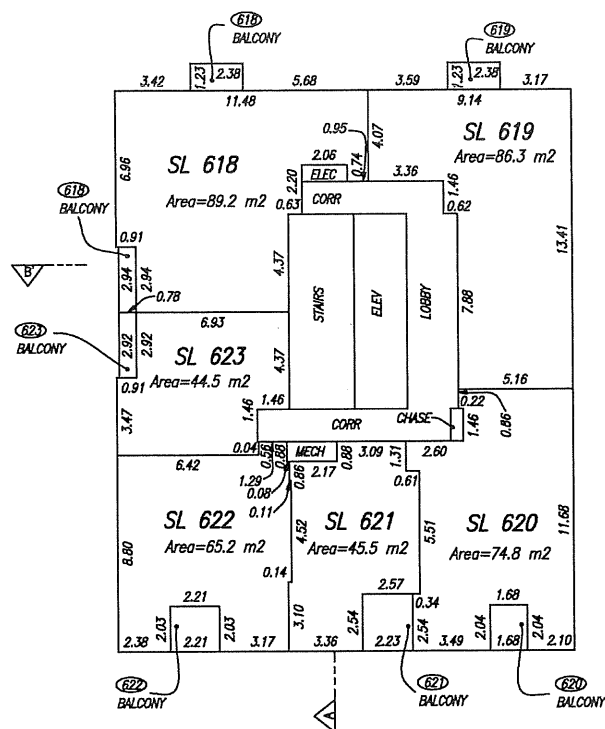
STRATA PLAN EPS3434

LEGEND

- CP ——— DENOTES COMMON PROPERTY
 CHASE ——— DENOTES CHASE CP
 CORR ——— DENOTES CORRIDOR CP
 ELEC ——— DENOTES ELECTRICAL SHAFT CP
 ELEV ——— DENOTES ELEVATOR CP
 LOBBY ——— DENOTES LOBBY CP
 MECH ——— DENOTES MECHANICAL SHAFT CP
 SL ——— DENOTES STRATA LOT
 STAIRS ——— DENOTES STAIRS CP
 (2) ——— DENOTES LIMITED COMMON PROPERTY
 FOR INDICATED STRATA LOT

METHOD OF MEASUREMENT:

- TO CENTRELINE OF ALL DEMISING WALLS
 BETWEEN STRATA LOTS
 —TO CENTRELINE OF WALLS BETWEEN STRATA
 LOTS AND INTERIOR COMMON PROPERTY
 —TO 5cm INTO CONCRETE WALLS ON ALL
 ELEVATOR/STAIRWELL CORE WALLS
 —TO EXTERIOR FACE OF FRAMING ON ALL
 EXTERIOR WALLS UNLESS OTHERWISE NOTED.



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

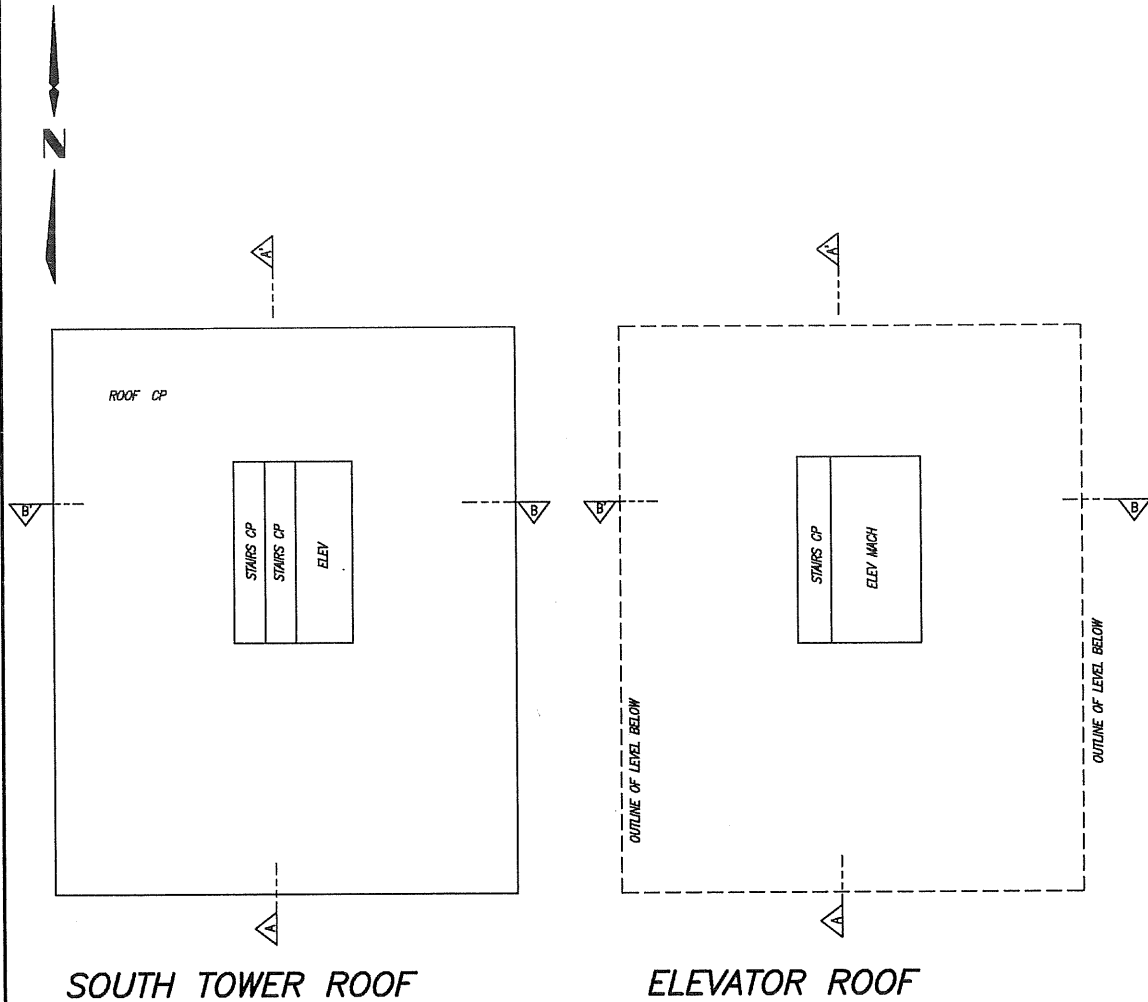
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

FLOOR PLANS SOUTH TOWER ROOF AND ELEVATOR ROOF LEVELS

STRATA PLAN EPS3434

LEGEND

CP _____ DENOTES COMMON PROPERTY
ELEV _____ DENOTES ELEVATOR CP
MACH _____ DENOTES MACHINE ROOM CP



Jeffrey D. Thompson BCLS
November 29, 2016



WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
048577 SCSU03-R00 TOWERS



All distances are in metres and decimals thereof.

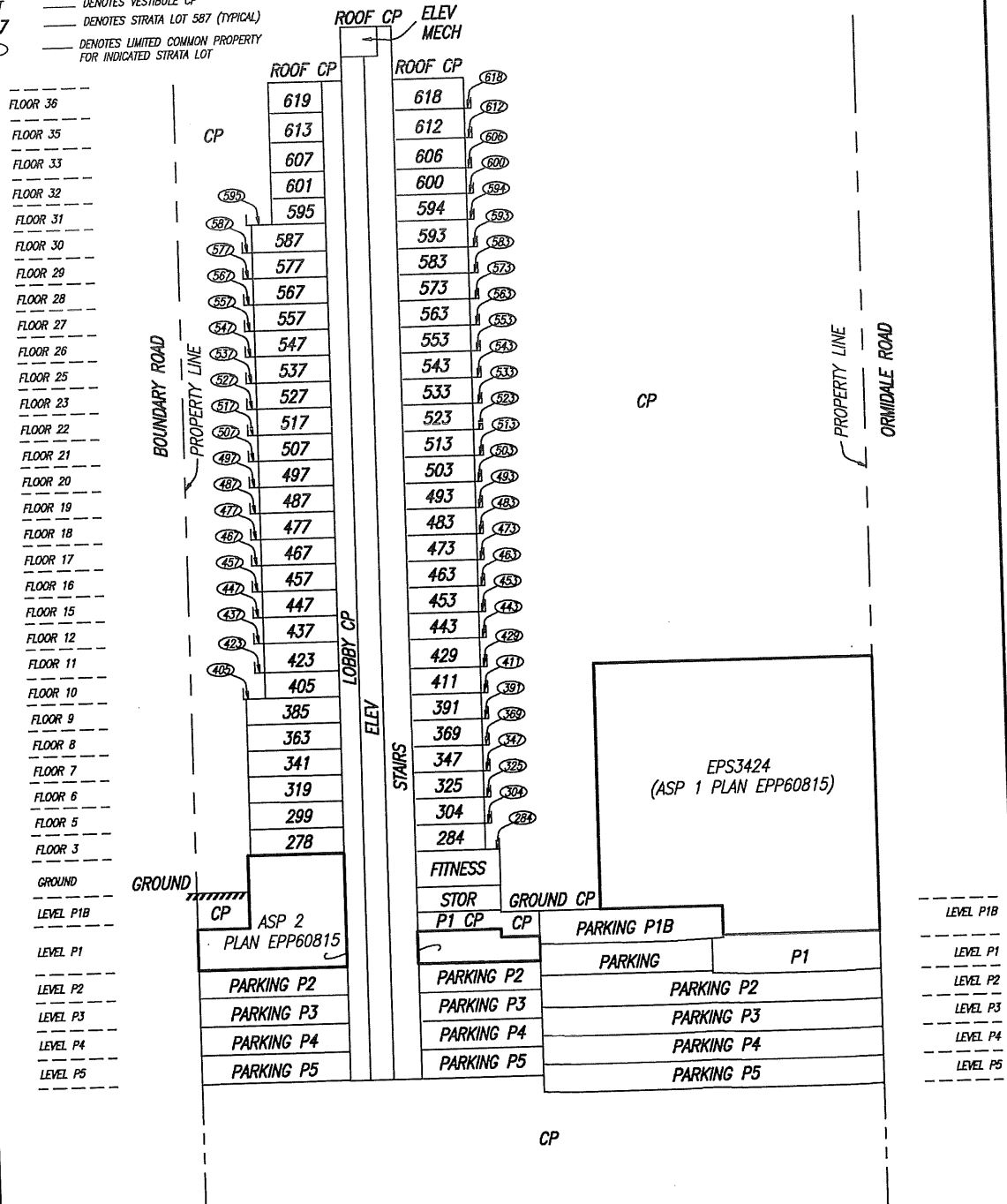
The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:200.

CROSS SECTIONS B-B'

STRATA PLAN EPS3434

LEGEND

- CP — DENOTES COMMON PROPERTY
 ELEV — DENOTES ELEVATOR CP
 FITNESS — DENOTES FITNESS CP
 MECH — DENOTES MECHANICAL ROOM CP
 PARKING P4 — DENOTES PARKING CP (TYPICAL)
 SL — DENOTES STRATA LOT
 STAIRS — DENOTES STAIRS CP
 STOR — DENOTES STORAGE CP
 VEST — DENOTES VESTIBULE CP
 587 — DENOTES STRATA LOT 587 (TYPICAL)
 (2) — DENOTES LIMITED COMMON PROPERTY FOR INDICATED STRATA LOT



Jeffrey D. Thompson BCLS
 November 29, 2016



WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminster, BC
 PROJECT REF./DRAWING No.
 048577 SCSU03-R00 TOWERS.



All distances are in metres and decimals thereof.

The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:400.

NEW WESTMINSTER LAND TITLE OFFICE

Nov-29-2016 12:00:15.003

CA5679618

PAGE 1 OF 17 PAGES

STRATA PROPERTY ACT FILING
PROVINCE OF BRITISH COLUMBIA

- Your electronic signature is a representation by you that:
 - you are a subscriber; and
 - you have incorporated your electronic signature into
 - this electronic application, and
 - the imaged copy of each supporting document attached to this electronic application, and have done so in accordance with Sections 168.3 and 168.41(4) of the *Land Title Act*, RSBC 1996, C.250.
 - Your electronic signature is a declaration by you under Section 168.41 of the *Land Title Act* in respect of each supporting document required in conjunction with this electronic application that:
 - the supporting document is identified in the imaged copy of it attached to this electronic application;
 - the original of the supporting document is in your possession; and
 - the material facts of the supporting document are set out in the imaged copy of it attached to this electronic application.
- Each term used in the representation and declaration set out above is to be given the meaning ascribed to it in Part 10.1 of the *Land Title Act*.

Robert Dennis
James Brown
W3VIQ7

Digitally signed by Robert Dennis James
Brown W3VIQ7
DN: c=CA, cn=Robert Dennis James
Brown W3VIQ7, o=Lawyer, ou=Verify ID
at www.juricert.com/LKUP.cfm?
id=W3VIQ7
Date: 2016.11.29 11:30:57 -08'00'

1. CONTACT: (Name, address, phone number)

Robert D.J. Brown
McLachlan Brown Anderson
10th Floor, 938 Howe Street
Vancouver

BC V6Z 1N9

LTO Client No. 011713
Telephone: (604) 331-6000
Our File No. 60.1055.039

Deduct LTSA Fees? Yes ☒

Document Fees: \$28.63

2. IDENTIFICATION OF ATTACHED STRATA PROPERTY ACT FORM OR OTHER SUPPORTING DOCUMENT:
Form-V Schedule of Unit Entitlement

LTO Document Reference:

3. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
[PID] [LEGAL DESCRIPTION]

029-519-985

LOT 2 BLOCK 6 DISTRICT LOT 36 GROUP 1 NEW WESTMINSTER DISTRICT
PLAN EPP41502 EXCEPT AIR SPACE PLAN EPP60815

This is Exhibit "I" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025



A Commissioner for taking Affidavits
within British Columbia.

Strata Property Act
FORM V
[am. B.C. Reg. 203/2003, s. 5.]

SCHEDULE OF UNIT ENTITLEMENT
(Sections 245 (a), 246, 264)

Re: Strata Plan EPS3434, being a strata plan of
Lot 2, Block 6, District Lot 36, Group 1, New Westminster District, Plan EPP41502 Except Air
Space Plan EPP60815

P.I.D. 029-519-985

010048577 WCCP T1/T2

STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- ☒ (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246 (3) (a) (i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, Jeffrey D. Thompson, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: November 24, 2016

.....
Signature

OR

- ☐ (b) a whole number that is the same for all of the residential strata lots as set out in section 246 (3) (a) (ii) of the *Strata Property Act*.

OR

- ☐ (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246 (3) (a) (iii) of the *Strata Property Act*.

.....
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit entitlement	%* of Total Unit Entitlement**
1	10	53.8	54	0.2%
2	10	46.9	47	0.1%
3	10	53.9	54	0.2%
4	10	57.4	57	0.2%
5	10	65.7	66	0.2%
6	10	70.1	70	0.2%
7	10	70.9	71	0.2%
8	11	53.8	54	0.2%
9	11	46.9	47	0.1%
10	11	53.9	54	0.2%
11	11	57.4	57	0.2%
12	11	65.7	66	0.2%
13	11	70.1	70	0.2%
14	11	70.9	71	0.2%
15	12	53.1	53	0.2%
16	12	46.8	47	0.1%
17	12	54.0	54	0.2%
18	12	41.8	42	0.1%
19	12	48.6	49	0.1%
20	12	77.3	77	0.2%
21	12	47.6	48	0.1%
22	12	59.6	60	0.2%
23	12	44.4	44	0.1%
24	12	43.8	44	0.1%
25	13	53.4	53	0.2%
26	13	46.7	47	0.1%
27	13	54.0	54	0.2%
28	13	41.7	42	0.1%
29	13	48.7	49	0.1%
30	13	69.6	70	0.2%
31	13	47.7	48	0.1%
32	13	59.6	60	0.2%
33	13	44.5	45	0.1%
34	13	43.6	44	0.1%
35	14	53.4	53	0.2%
36	14	46.7	47	0.1%
37	14	54.0	54	0.2%
38	14	41.7	42	0.1%
39	14	48.6	49	0.1%
40	14	58.9	59	0.2%
41	14	47.8	48	0.1%
42	14	59.6	60	0.2%

43	14	44.5	45	0.1%
44	14	43.6	44	0.1%
45	15	53.4	53	0.2%
46	15	46.7	47	0.1%
47	15	54.0	54	0.2%
48	15	42.0	42	0.1%
49	15	48.5	49	0.1%
50	15	58.2	58	0.2%
51	15	47.8	48	0.1%
52	15	59.6	60	0.2%
53	15	44.5	45	0.1%
54	15	43.6	44	0.1%
55	16	53.4	53	0.2%
56	16	46.7	47	0.1%
57	16	54.0	54	0.2%
58	16	42.0	42	0.1%
59	16	48.5	49	0.1%
60	16	58.3	58	0.2%
61	16	47.8	48	0.1%
62	16	59.6	60	0.2%
63	16	44.5	45	0.1%
64	16	43.6	44	0.1%
65	17	53.4	53	0.2%
66	17	46.7	47	0.1%
67	17	54.0	54	0.2%
68	17	42.0	42	0.1%
69	17	48.5	49	0.1%
70	17	58.2	58	0.2%
71	17	47.8	48	0.1%
72	17	59.6	60	0.2%
73	17	44.5	45	0.1%
74	17	43.6	44	0.1%
75	18	53.4	53	0.2%
76	18	46.7	47	0.1%
77	18	54.0	54	0.2%
78	18	42.0	42	0.1%
79	18	48.5	49	0.1%
80	18	58.2	58	0.2%
81	18	47.8	48	0.1%
82	18	59.6	60	0.2%
83	18	44.5	45	0.1%
84	18	43.6	44	0.1%
85	19	53.4	53	0.2%
86	19	46.7	47	0.1%
87	19	54.0	54	0.2%

88	19	42.0	42	0.1%
89	19	48.5	49	0.1%
90	19	58.2	58	0.2%
91	19	47.8	48	0.1%
92	19	59.6	60	0.2%
93	19	44.5	45	0.1%
94	19	43.6	44	0.1%
95	20	53.4	53	0.2%
96	20	46.7	47	0.1%
97	20	54.0	54	0.2%
98	20	42.0	42	0.1%
99	20	47.8	48	0.1%
100	20	59.6	60	0.2%
101	20	44.5	45	0.1%
102	20	43.6	44	0.1%
103	21	53.4	53	0.2%
104	21	46.7	47	0.1%
105	21	53.8	54	0.2%
106	21	41.8	42	0.1%
107	21	48.9	49	0.1%
108	21	80.5	81	0.2%
109	21	47.8	48	0.1%
110	21	59.6	60	0.2%
111	21	44.5	45	0.1%
112	21	43.6	44	0.1%
113	22	53.4	53	0.2%
114	22	46.7	47	0.1%
115	22	53.8	54	0.2%
116	22	41.8	42	0.1%
117	22	48.9	49	0.1%
118	22	80.5	81	0.2%
119	22	47.8	48	0.1%
120	22	59.6	60	0.2%
121	22	44.5	45	0.1%
122	22	43.6	44	0.1%
123	23	53.4	53	0.2%
124	23	46.7	47	0.1%
125	23	53.8	54	0.2%
126	23	41.8	42	0.1%
127	23	48.9	49	0.1%
128	23	80.5	81	0.2%
129	23	47.8	48	0.1%
130	23	59.6	60	0.2%
131	23	44.5	45	0.1%
132	23	43.6	44	0.1%

133	24	53.5	54	0.2%
134	24	46.7	47	0.1%
135	24	53.8	54	0.2%
136	24	41.8	42	0.1%
137	24	48.8	49	0.1%
138	24	80.5	81	0.2%
139	24	48.0	48	0.1%
140	24	59.3	59	0.2%
141	24	44.5	45	0.1%
142	24	43.6	44	0.1%
143	25	53.4	53	0.2%
144	25	46.7	47	0.1%
145	25	53.8	54	0.2%
146	25	41.8	42	0.1%
147	25	48.9	49	0.1%
148	25	80.5	81	0.2%
149	25	47.9	48	0.1%
150	25	59.5	60	0.2%
151	25	44.5	45	0.1%
152	25	43.6	44	0.1%
153	26	53.4	53	0.2%
154	26	46.7	47	0.1%
155	26	53.8	54	0.2%
156	26	41.8	42	0.1%
157	26	48.9	49	0.1%
158	26	80.5	81	0.2%
159	26	47.9	48	0.1%
160	26	59.5	60	0.2%
161	26	44.5	45	0.1%
162	26	43.6	44	0.1%
163	27	53.5	54	0.2%
164	27	46.7	47	0.1%
165	27	53.8	54	0.2%
166	27	41.8	42	0.1%
167	27	48.8	49	0.1%
168	27	80.5	81	0.2%
169	27	47.7	48	0.1%
170	27	59.7	60	0.2%
171	27	44.5	45	0.1%
172	27	43.6	44	0.1%
173	28	53.5	54	0.2%
174	28	46.7	47	0.1%
175	28	53.8	54	0.2%
176	28	41.8	42	0.1%
177	28	48.8	49	0.1%

178	28	80.5	81	0.2%
179	28	47.8	48	0.1%
180	28	59.5	60	0.2%
181	28	44.5	45	0.1%
182	28	43.6	44	0.1%
183	29	53.5	54	0.2%
184	29	46.7	47	0.1%
185	29	53.8	54	0.2%
186	29	41.8	42	0.1%
187	29	48.8	49	0.1%
188	29	80.5	81	0.2%
189	29	47.8	48	0.1%
190	29	59.5	60	0.2%
191	29	44.5	45	0.1%
192	29	43.6	44	0.1%
193	30	53.5	54	0.2%
194	30	46.7	47	0.1%
195	30	53.8	54	0.2%
196	30	41.8	42	0.1%
197	30	48.8	49	0.1%
198	30	80.5	81	0.2%
199	30	47.8	48	0.1%
200	30	59.5	60	0.2%
201	30	44.5	45	0.1%
202	30	43.6	44	0.1%
203	31	53.5	54	0.2%
204	31	46.7	47	0.1%
205	31	53.8	54	0.2%
206	31	41.8	42	0.1%
207	31	48.8	49	0.1%
208	31	80.5	81	0.2%
209	31	47.8	48	0.1%
210	31	59.5	60	0.2%
211	31	44.5	45	0.1%
212	31	43.6	44	0.1%
213	32	53.5	54	0.2%
214	32	46.7	47	0.1%
215	32	53.8	54	0.2%
216	32	41.8	42	0.1%
217	32	48.8	49	0.1%
218	32	80.5	81	0.2%
219	32	47.8	48	0.1%
220	32	59.5	60	0.2%
221	32	44.5	45	0.1%
222	32	43.6	44	0.1%

223	33	53.5	54	0.2%
224	33	46.7	47	0.1%
225	33	53.8	54	0.2%
225	33	41.8	42	0.1%
227	33	48.8	49	0.1%
228	33	80.5	81	0.2%
229	33	47.8	48	0.1%
230	33	59.5	60	0.2%
231	33	44.5	45	0.1%
232	33	43.6	44	0.1%
233	34	53.5	54	0.2%
234	34	46.7	47	0.1%
235	34	53.8	54	0.2%
236	34	41.8	42	0.1%
237	34	48.8	49	0.1%
238	34	80.5	81	0.2%
239	34	47.8	48	0.1%
240	34	59.5	60	0.2%
241	34	44.5	45	0.1%
242	34	43.6	44	0.1%
243	35	53.5	54	0.2%
244	35	46.7	47	0.1%
245	35	53.8	54	0.2%
246	35	41.8	42	0.1%
247	35	48.8	49	0.1%
248	35	80.5	81	0.2%
249	35	47.8	48	0.1%
250	35	59.5	60	0.2%
251	35	44.5	45	0.1%
252	35	43.6	44	0.1%
253	36	80.6	81	0.2%
254	36	72.9	73	0.2%
255	36	60.2	60	0.2%
256	36	58.8	59	0.2%
257	36	71.8	72	0.2%
258	36	71.3	71	0.2%
259	37	80.6	81	0.2%
260	37	72.9	73	0.2%
261	37	60.2	60	0.2%
262	37	58.8	59	0.2%
263	37	71.8	72	0.2%
264	37	71.3	71	0.2%
265	38	80.6	81	0.2%
266	38	72.9	73	0.2%
267	38	60.2	60	0.2%

268	38	58.7	59	0.2%
269	38	71.8	72	0.2%
270	38	71.3	71	0.2%
271	41	60.8	61	0.2%
272	41	41.6	42	0.1%
273	41	50.7	51	0.2%
274	41	50.7	51	0.2%
275	41	50.9	51	0.2%
276	41	50.6	51	0.2%
277	41	63.6	64	0.2%
278	41	54.7	55	0.2%
279	41	39.7	40	0.1%
280	41	53.0	53	0.2%
281	41	45.8	46	0.1%
282	41	65.3	65	0.2%
283	41	43.9	44	0.1%
284	41	43.7	44	0.1%
285	41	62.8	63	0.2%
286	41	52.9	53	0.2%
287	41	47.6	48	0.1%
288	41	47.3	47	0.1%
289	41	47.2	47	0.1%
290	41	47.2	47	0.1%
291	42	58.4	58	0.2%
292	42	40.1	40	0.1%
293	42	50.7	51	0.2%
294	42	50.7	51	0.2%
295	42	50.9	51	0.2%
296	42	50.6	51	0.2%
297	42	63.6	64	0.2%
298	42	54.7	55	0.2%
299	42	39.7	40	0.1%
300	42	53.0	53	0.2%
301	42	45.8	46	0.1%
302	42	65.3	65	0.2%
303	42	44.5	45	0.1%
304	42	43.7	44	0.1%
305	42	62.8	63	0.2%
306	42	52.9	53	0.2%
307	42	47.6	48	0.1%
308	42	47.3	47	0.1%
309	42	47.2	47	0.1%
310	42	47.2	47	0.1%
311	43	47.1	47	0.1%
312	43	47.5	48	0.1%

313	43	51.3	51	0.2%
314	43	50.7	51	0.2%
315	43	50.7	51	0.2%
316	43	50.9	51	0.2%
317	43	50.6	51	0.2%
318	43	63.4	63	0.2%
319	43	54.3	54	0.1%
320	43	48.9	49	0.2%
321	43	70.9	71	0.1%
322	43	45.8	46	0.2%
323	43	65.3	65	0.1%
324	43	44.5	45	0.1%
325	43	43.7	44	0.2%
326	43	62.8	63	0.2%
327	43	52.9	53	0.1%
328	43	47.6	48	0.1%
329	43	47.3	47	0.1%
330	43	47.2	47	0.1%
331	43	47.2	47	0.1%
332	43	48.1	48	0.1%
333	44	47.1	47	0.1%
334	44	47.8	48	0.2%
335	44	51.1	51	0.2%
336	44	50.7	51	0.2%
337	44	50.7	51	0.2%
338	44	50.9	51	0.2%
339	44	50.6	51	0.2%
340	44	63.4	63	0.2%
341	44	54.2	54	0.1%
342	44	49.0	49	0.2%
343	44	70.9	71	0.1%
344	44	45.8	46	0.2%
345	44	65.4	65	0.1%
346	44	44.5	45	0.1%
347	44	43.7	44	0.2%
348	44	62.8	63	0.2%
349	44	52.9	53	0.1%
350	44	47.6	48	0.1%
351	44	47.3	47	0.1%
352	44	47.2	47	0.1%
353	44	47.2	47	0.1%
354	44	48.1	48	0.1%
355	45	47.1	47	0.1%
256	45	47.5	48	0.1%
257	45	51.3	51	0.2%

			51	0.2%
258	45	50.7	51	0.2%
259	45	50.7	51	0.2%
360	45	50.9	51	0.2%
361	45	50.6	51	0.2%
362	45	63.4	63	0.2%
363	45	54.1	54	0.2%
364	45	49.1	49	0.1%
365	45	70.9	71	0.2%
366	45	45.8	46	0.1%
367	45	65.4	65	0.2%
368	45	44.5	45	0.1%
369	45	43.7	44	0.1%
370	45	62.8	63	0.2%
371	45	52.9	53	0.2%
372	45	47.6	48	0.1%
373	45	47.3	47	0.1%
374	45	47.2	47	0.1%
375	45	47.2	47	0.1%
376	45	48.1	48	0.1%
377	46	47.1	47	0.1%
378	46	47.5	48	0.1%
379	46	51.3	51	0.2%
380	46	50.7	51	0.2%
381	46	50.7	51	0.2%
382	46	50.9	51	0.2%
383	46	50.6	51	0.2%
384	46	63.4	63	0.2%
385	46	54.1	54	0.2%
386	46	49.1	49	0.1%
387	46	70.9	71	0.2%
388	46	45.8	46	0.1%
389	46	65.4	65	0.2%
390	46	44.5	45	0.1%
391	46	43.7	44	0.1%
392	46	62.8	63	0.2%
393	46	52.9	53	0.2%
394	46	47.6	48	0.1%
395	46	47.3	47	0.1%
396	46	47.2	47	0.1%
397	46	47.2	47	0.1%
398	46	48.1	48	0.1%
399	47	47.1	47	0.1%
400	47	47.8	48	0.1%
401	47	69.3	69	0.2%
402	47	49.9	50	0.1%

403	47	51.0	51	0.2%
404	47	59.7	60	0.2%
405	47	49.1	49	0.1%
406	47	48.6	49	0.1%
407	47	70.8	71	0.2%
408	47	45.8	46	0.1%
409	47	65.4	65	0.2%
410	47	44.5	45	0.1%
411	47	43.7	44	0.1%
412	47	62.8	63	0.2%
413	47	52.9	53	0.2%
414	47	47.7	48	0.1%
415	47	49.1	49	0.1%
416	47	67.0	67	0.2%
417	48	47.1	47	0.1%
418	48	47.8	48	0.1%
419	48	69.3	69	0.2%
420	48	49.9	50	0.1%
421	48	51.0	51	0.2%
422	48	59.7	60	0.2%
423	48	49.1	49	0.1%
424	48	48.6	49	0.1%
425	48	70.8	71	0.2%
426	48	45.8	46	0.1%
427	48	65.4	65	0.2%
428	48	44.5	45	0.1%
429	48	43.7	44	0.1%
430	48	62.8	63	0.2%
431	48	52.9	53	0.2%
432	48	47.7	48	0.1%
433	48	49.1	49	0.1%
434	48	67.1	67	0.2%
435	49	62.4	62	0.2%
436	49	55.9	56	0.2%
437	49	49.2	49	0.1%
438	49	48.6	49	0.1%
439	49	70.8	71	0.2%
440	49	45.8	46	0.1%
441	49	65.4	65	0.2%
442	49	44.5	45	0.1%
443	49	43.7	44	0.1%
444	50	62.4	62	0.2%
445	50	43.1	43	0.1%
446	50	78.9	79	0.2%
447	50	48.9	49	0.1%

448	50	48.5	49	0.1%
449	50	70.8	71	0.2%
450	50	45.7	46	0.1%
451	50	65.4	65	0.2%
452	50	44.5	45	0.1%
453	50	43.7	44	0.1%
454	51	62.4	62	0.2%
455	51	43.1	43	0.1%
456	51	78.9	79	0.2%
457	51	48.9	49	0.1%
458	51	48.5	49	0.1%
459	51	70.8	71	0.2%
460	51	45.7	46	0.1%
461	51	65.4	65	0.2%
462	51	44.5	45	0.1%
463	51	43.7	44	0.1%
464	52	62.4	62	0.2%
465	52	43.0	43	0.1%
466	52	78.9	79	0.2%
467	52	48.9	49	0.1%
468	52	48.5	49	0.1%
469	52	70.8	71	0.2%
470	52	45.7	46	0.1%
471	52	65.4	65	0.2%
472	52	44.5	45	0.1%
473	52	43.7	44	0.1%
474	53	62.4	62	0.2%
475	53	43.0	43	0.1%
476	53	78.9	79	0.2%
477	53	48.9	49	0.1%
478	53	48.5	49	0.1%
479	53	70.8	71	0.2%
480	53	45.7	46	0.1%
481	53	65.4	65	0.2%
482	53	44.5	45	0.1%
483	53	43.7	44	0.1%
484	54	62.4	62	0.2%
485	54	43.0	43	0.1%
486	54	78.9	79	0.2%
487	54	48.9	49	0.1%
488	54	48.5	49	0.1%
489	54	70.8	71	0.2%
490	54	45.7	46	0.1%
491	54	65.4	65	0.2%
492	54	44.5	45	0.1%

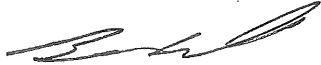
493	54	43.7	44	0.1%
494	55	62.4	62	0.2%
495	55	43.0	43	0.1%
496	55	78.9	79	0.2%
497	55	48.9	49	0.1%
498	55	48.5	49	0.1%
499	55	70.8	71	0.2%
500	55	45.7	46	0.1%
501	55	65.4	65	0.2%
502	55	44.5	45	0.1%
503	55	43.7	44	0.1%
504	56	62.4	62	0.2%
505	56	43.0	43	0.1%
506	56	78.9	79	0.2%
507	56	48.9	49	0.1%
508	56	48.5	49	0.1%
509	56	70.8	71	0.2%
510	56	45.7	46	0.1%
511	56	65.4	65	0.2%
512	56	44.5	45	0.1%
513	56	43.7	44	0.1%
514	57	62.4	62	0.2%
515	57	43.0	43	0.1%
516	57	78.9	79	0.2%
517	57	48.9	49	0.1%
518	57	48.5	49	0.1%
519	57	70.8	71	0.2%
520	57	45.7	46	0.1%
521	57	65.4	65	0.2%
522	57	44.5	45	0.1%
523	57	43.7	44	0.1%
524	58	62.4	62	0.2%
525	58	43.0	43	0.1%
526	58	78.9	79	0.2%
527	58	48.9	49	0.1%
528	58	48.5	49	0.1%
529	58	70.8	71	0.2%
530	58	45.7	46	0.1%
531	58	65.4	65	0.2%
532	58	44.5	45	0.1%
533	58	43.7	44	0.1%
534	59	62.4	62	0.2%
535	59	43.0	43	0.1%
536	59	78.9	79	0.2%
537	59	48.9	49	0.1%

538	59	48.5	49	0.1%
539	59	70.8	71	0.2%
540	59	45.7	46	0.1%
541	59	65.4	65	0.2%
542	59	44.5	45	0.1%
543	59	43.7	44	0.1%
544	60	62.4	62	0.2%
545	60	43.0	43	0.1%
546	60	78.9	79	0.2%
547	60	48.9	49	0.1%
548	60	48.5	49	0.1%
549	60	70.8	71	0.2%
550	60	45.7	46	0.1%
551	60	65.4	65	0.2%
552	60	44.5	45	0.1%
553	60	43.7	44	0.1%
554	61	62.4	62	0.2%
555	61	43.1	43	0.1%
556	61	78.9	79	0.2%
557	61	48.9	49	0.1%
558	61	48.5	49	0.1%
559	61	70.8	71	0.2%
560	61	45.7	46	0.1%
561	61	65.4	65	0.2%
562	61	44.5	45	0.1%
563	61	43.7	44	0.1%
564	62	62.4	62	0.2%
565	62	43.0	43	0.1%
566	62	78.9	79	0.2%
567	62	48.9	49	0.1%
568	62	48.5	49	0.1%
569	62	70.8	71	0.2%
570	62	45.7	46	0.1%
571	62	65.4	65	0.2%
572	62	44.5	45	0.1%
573	62	43.7	44	0.1%
574	63	62.4	62	0.2%
575	63	43.1	43	0.1%
576	63	78.9	79	0.2%
577	63	48.9	49	0.1%
578	63	48.5	49	0.1%
579	63	70.8	71	0.2%
580	63	45.7	46	0.1%
581	63	65.4	65	0.2%
582	63	44.5	45	0.1%

583	63	43.7	44	0.1%
584	64	62.4	62	0.2%
585	64	43.1	43	0.1%
586	64	78.9	79	0.2%
587	64	48.9	49	0.1%
588	64	48.5	49	0.1%
589	64	70.8	71	0.2%
590	64	45.7	46	0.1%
591	64	65.4	65	0.2%
592	64	44.5	45	0.1%
593	64	43.7	44	0.1%
594	65	89.2	89	0.3%
595	65	86.3	86	0.3%
596	65	74.7	75	0.2%
597	65	45.8	46	0.1%
598	65	65.2	65	0.2%
599	65	44.5	45	0.1%
600	66	89.2	89	0.3%
601	66	86.3	86	0.3%
602	66	74.6	75	0.2%
603	66	46.0	46	0.1%
604	66	65.2	65	0.2%
605	66	44.5	45	0.1%
606	67	89.2	89	0.3%
607	67	86.3	86	0.3%
608	67	74.6	75	0.2%
609	67	46.0	46	0.1%
610	67	65.2	65	0.2%
611	67	44.5	45	0.1%
612	68	89.2	89	0.3%
613	68	86.3	86	0.3%
614	68	74.6	75	0.2%
615	68	45.6	46	0.1%
616	68	65.2	65	0.2%
617	68	44.5	45	0.1%
618	69	89.2	89	0.3%
619	69	86.3	86	0.3%
620	69	74.8	75	0.2%
621	69	45.5	46	0.1%
622	69	65.2	65	0.2%
623	69	44.5	45	0.1%
Total number of lots: 623			Total unit entitlement: 33726	

* expression of percentage is for informational purposes only and has no legal effect
** not required for a phase of a phased strata plan

Date: Nov. 28, 2016 [month day, year].



Signature of Owner Developer

Signature of Superintendent of Real Estate (if submitted under section 264 of the act)



City of Vancouver *Zoning and Development By-law*

Planning and Development Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7000 fax 604.873.7060
 planning@vancouver.ca

CD-1 (545)

5515 - 5665 Boundary Road
5448 - 5666 Ormidale Street and
3690 Vanness Avenue

By-law No. 10676

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective April 9, 2013

This is Exhibit "J" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits
 within British Columbia.

1 Zoning District Plan Amendment

This By-law amends the Zoning District Plan attached as Schedule D to By-law No. 3575, and amends or substitutes the boundaries and districts shown on it, according to the amendments, substitutions, explanatory legends, notations, and references shown on the plan marginally numbered Z-640 (a) attached as Schedule A to this By-law, and incorporates Schedule A into Schedule D to By-law No. 3575.

2 Definitions

In this By-law:

“Entry Alcoves” mean covered exterior spaces enclosed with vertical walls on three sides and adjacent to an entryway.

3 Uses

3.1 The description of the area shown within the heavy black outline on Schedule A is CD 1 (545).

3.2 Subject to Council approval of the form of development, to all conditions, guidelines and policies adopted by Council, and to the conditions set out in this By-law or in a development permit, the only uses permitted within CD-1 (545) and the only uses for which the Director of Planning or Development Permit Board will issue development permits are:

- (a) Cultural and Recreational Uses, limited to Community Centre or Neighbourhood House;
- (b) Dwelling Uses, limited to Multiple Dwelling;
- (c) Institutional Uses, limited to Social Service Centre;
- (d) Retail Uses, limited to Retail Store;
- (e) Service Uses, limited to Restaurant - Class 1 and School - Arts or Self-Improvement; and
- (f) Accessory Uses customarily ancillary to the uses listed in this section 3.2.

4 Conditions of use

4.1 The design and lay-out of at least 25% of the dwelling units must:

- (a) be suitable for family housing;
- (b) include two or more bedrooms; and
- (c) comply with Council’s “High-Density Housing for Families with Children Guidelines”.

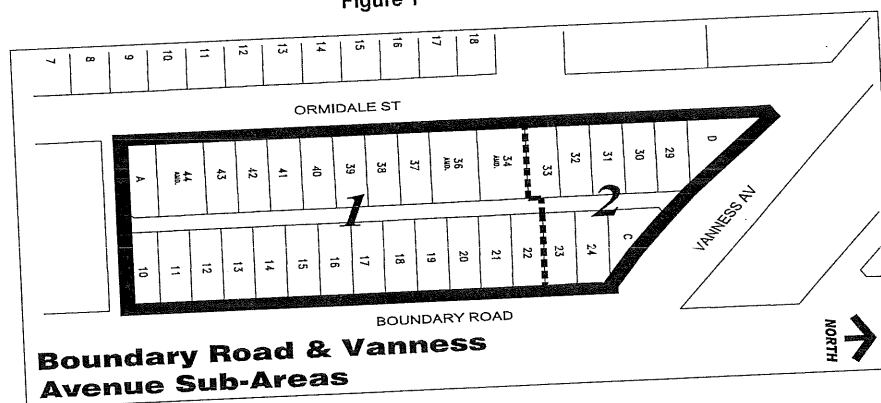
4.2 All commercial uses must be carried on wholly within an enclosed building except for:

- (a) Restaurant – Class 1; and
- (b) display of flowers, plants, fruits and vegetables.

5 Sub-areas

5.1 The site is to consist of two sub-areas as illustrated in Figure 1.

Figure 1



6 Density

- 6.1 Computation of floor area must assume that the site consists of 12 408 m², being the site size at the time of the application for the rezoning evidenced by this By-law, and before any dedications.
- 6.2 The floor area for all uses combined must not exceed 5.50, except that retail and restaurant - class 1 uses combined must not exceed a total floor area of 372 m².
- 6.3 Computation of floor space ratio must include:
- (a) all floors having a minimum ceiling height of 1.2 m, including earthen floor, both above and below ground, measured to the extreme outer limits of the building;
 - (b) stairways, fire escapes, elevator shafts, and other features, which the Director of Planning considers similar, measured by their gross cross-sectional areas, and included in the measurements for each floor at which they are located; and
 - (c) in the case of dwelling uses, if the distance from a floor to the floor above or, in the absence of a floor above, to the top of the roof rafters or deck exceeds 4.3 m, an additional amount equal to the area of the floor area below the excess height, except for additional amounts that represent undeveloped floor areas beneath roof elements, which the Director of Planning considers to be for decorative purposes, and to which there is no means of access other than a hatch, residential lobbies, and mechanical penthouses.
- 6.4 Computation of floor space ratio must exclude:
- (a) open residential balconies or sun decks, entry alcoves and any other appurtenances, which in the opinion of the Director of Planning, are similar to the foregoing, except that the total area of all exclusions must not exceed 8% of the residential floor area being provided;
 - (b) patios and roof gardens, if the Director of Planning first approves the design of sunroofs and walls;
 - (c) where floors are used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which, in the opinion of the Director of Planning are similar to the foregoing, those floors or portions thereof so used, which are at or below base surface, except that the maximum exclusion for a parking space must not exceed 7.3 m in length;
 - (d) undeveloped floor area located above the highest storey or half-storey, with a ceiling height of less than 1.2 m, and to which there is no permanent means of access other than a hatch;
 - (e) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² for a dwelling unit, there is to be no exclusion for any of the residential storage space above base surface for that unit;
 - (f) amenity areas including recreation facilities, and meeting rooms, except that the total area excluded must not exceed 985 m² in sub-area 1, and 500 m² in sub-area 2; and
 - (g) floor area used for a social service centre, neighbourhood house, or school - arts or self-improvement, except that the total area so excluded must not exceed 2140 m² in sub-area 1, and 953 m² in sub-area 2.
- 6.5 Computation of floor space ratio in each sub-area may exclude, at the discretion of the Director of Planning or Development Permit Board:
- (a) enclosed residential balconies, if the Director of Planning or Development Permit Board first considers all applicable policies and guidelines adopted by Council, and approves the design of any balcony enclosure, except that:
 - (i) the total area of all open and enclosed balcony or sun deck exclusions, must not exceed 8% of the residential floor area being provided, and
 - (ii) enclosure of the excluded balcony floor area must not exceed 50%;

- (b) unenclosed outdoor areas at grade level, underneath building overhangs, if:
 - (i) the Director of Planning or Development Permit Board, first considers all applicable policies and guidelines adopted by Council, and approves the design of any overhangs, and
 - (ii) the area of all overhang exclusions does not exceed 1% of the residential floor area being provided;
- (c) despite section 6.3(c), open to below spaces or double height volumes on the second storey units, if the location of the first floor is within 2 m of grade to a maximum of 15% of the floor area of the first floor of that unit;
- (e) passive design features, such as horizontal and vertical extensions, that contribute to solar control and improve energy performance; and
- (f) tool sheds, trellises and other garden structures, which support the use of intensive green roofs and urban agriculture, and, despite section 6.3(b), those portions of stairways and elevator enclosures, which are at the roof level providing access to garden areas.

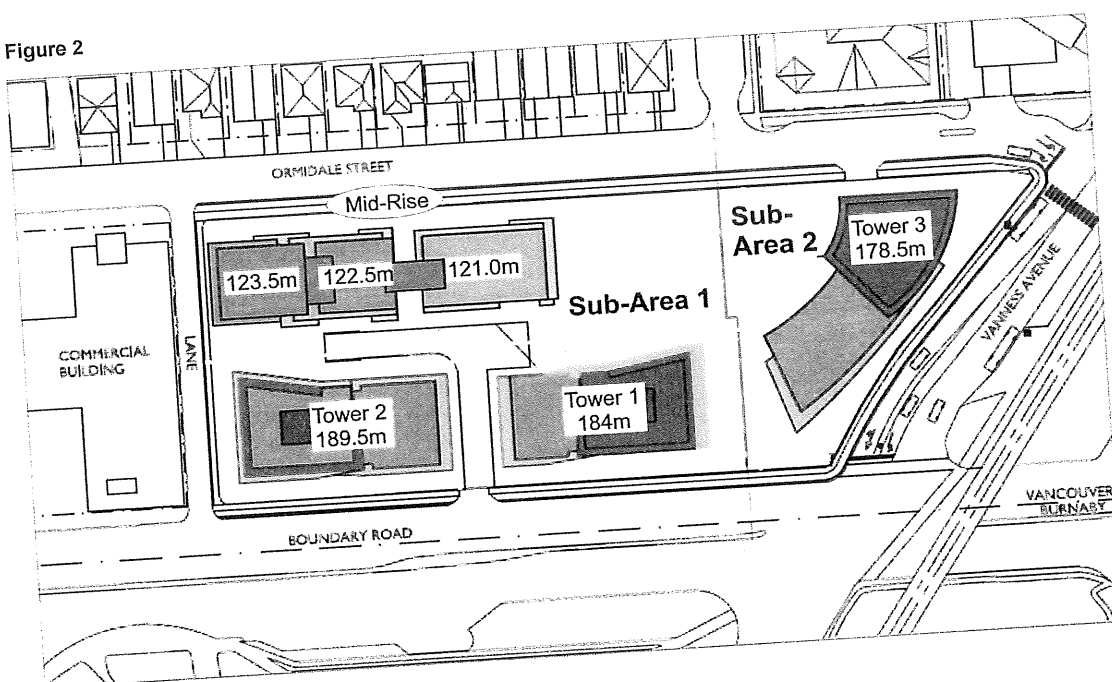
6.6 The use of floor space excluded under section 6.4 or 6.5 must not include any purpose other than that which justified the exclusion.

7

Building height

The building height, measured above base surface and to the top of the roof slab above the uppermost habitable floor, excluding parapet wall, must not exceed the geodetic elevations illustrated in Figure 2 below.

Figure 2



8

Horizontal angle of daylight

- 8.1 Each habitable room must have at least one window on an exterior wall of a building.
- 8.2 The location of each such exterior window must allow a plane or planes extending from the window, and formed by an angle of 50 degrees, or two angles with a sum of 70 degrees, to encounter no obstruction over a distance of 24.0 m.

8.3 Measurement of the plane or planes referred to in section 8.2 must be horizontally from the centre of the bottom of each window.

- 8.4 If:
- (a) the Director of Planning or Development Permit Board first considers all the applicable policies and guidelines adopted by Council; and
 - (b) the minimum distance of unobstructed view is not less than 3.7 m,

the Director of Planning or Development Permit Board may relax the horizontal angle of daylight requirement.

- 8.5 An obstruction referred to in section 8.2 means:
- (a) any part of the same building including permitted projections; or
 - (b) the largest building permitted under the zoning on any site adjoining CD-1 (545).

- 8.6 A habitable room referred to in section 8.1 does not include:
- (a) a bathroom; or
 - (b) a kitchen whose floor area is the lesser of:
 - (i) less than 10% of the total floor area of the dwelling unit, or
 - (ii) less than 9.3 m².

9 **Parking, loading, and bicycle spaces**

Any development or use of the site requires the provision and maintenance of off-street parking spaces, loading spaces, and bicycle spaces, in accordance with the Parking By-law, except that the minimum required parking must be 10% lower than the minimum parking requirements in the Parking By-law on November 1, 2011.

10 **Acoustics**

All development permit applications require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement, demonstrating that the noise levels in those portions of dwelling units listed below, do not exceed the noise level set opposite such portions. For the purposes of this section, the noise level is the A-weighted 24-hour equivalent (Leq) sound level and is defined simply as noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
Bedrooms	35
Living, dining, recreation rooms	40
Kitchen, bathrooms, hallways	45

11 **Severability**

A decision by a court that any part of this By-law is illegal, void, or unenforceable severs that part from this By-law, and is not to affect the balance of this By-law.

12 **Force and effect**

This By-law is to come into force and take effect on the date of its enactment.

ENACTED by Council this 9th day of April, 2013.



EPS2285

PAGE 1 OF 23 PAGES

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

0837

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you

(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and

(b) certify the matters set out in section 168.73 (4) of the Land Title Act, Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

Muliawan
Koesoema
2DNH5W

Digitally signed by Muliawan
Koesoema 2DNH5W
DN: c=CA, cn=Muliawan Koesoema
2DNH5W, o=BC Land Surveyor,
ou=Verify ID at www.juricert.com/
LKUP.cfm?id=2DNH5W
Date: 2014.11.06 14:26:19 -0800

1. BC LAND SURVEYOR: (Name, address, phone number)

Muliawan Koesoema, BCLS
Louis Ngan Land Surveying Inc.
4932 Victoria Drive
Vancouver

BC V5P 3T6

File: VKI-2667TR-PH1
Tel: 604-327-1535
Email: mk@LNLS.ca

Fee Collected for Document: \$0.00

☐ Surveyor General Certification [For Surveyor General Use Only]

Control Number: 141-531-2779

2. PLAN IDENTIFICATION:

Plan Number: EPS2285

This original plan number assignment was done under Commission #: 837

3. CERTIFICATION:

☒ Form 9 ☒ Explanatory Plan ☐ Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on:	2014	October	10	(YYYY/Month/DD)	The checklist was filed under ECR#:
The plan was completed and checked on:	2014	October	11	(YYYY/Month/DD)	166624

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of 2014 October 10 (YYYY/Month/DD) ☐ None ☒ Strata Form S

☐ None ☒ Strata Form U1 ☐ Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

Certification Date: 2014 October 10 (YYYY/Month/DD)

This is Exhibit "K" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

Auis
A Commissioner for taking Affidavits
within British Columbia.

Arterial Highway ☐4. ALTERATION: ☒

LTO Document Reference: CA4037225

This is an alteration to a previous version of this plan identified by control number: 141-305-8863

DESCRIPTION OF ALTERATION: SEE SCHEDULE

4. DESCRIPTION OF ALTERATION (continued)

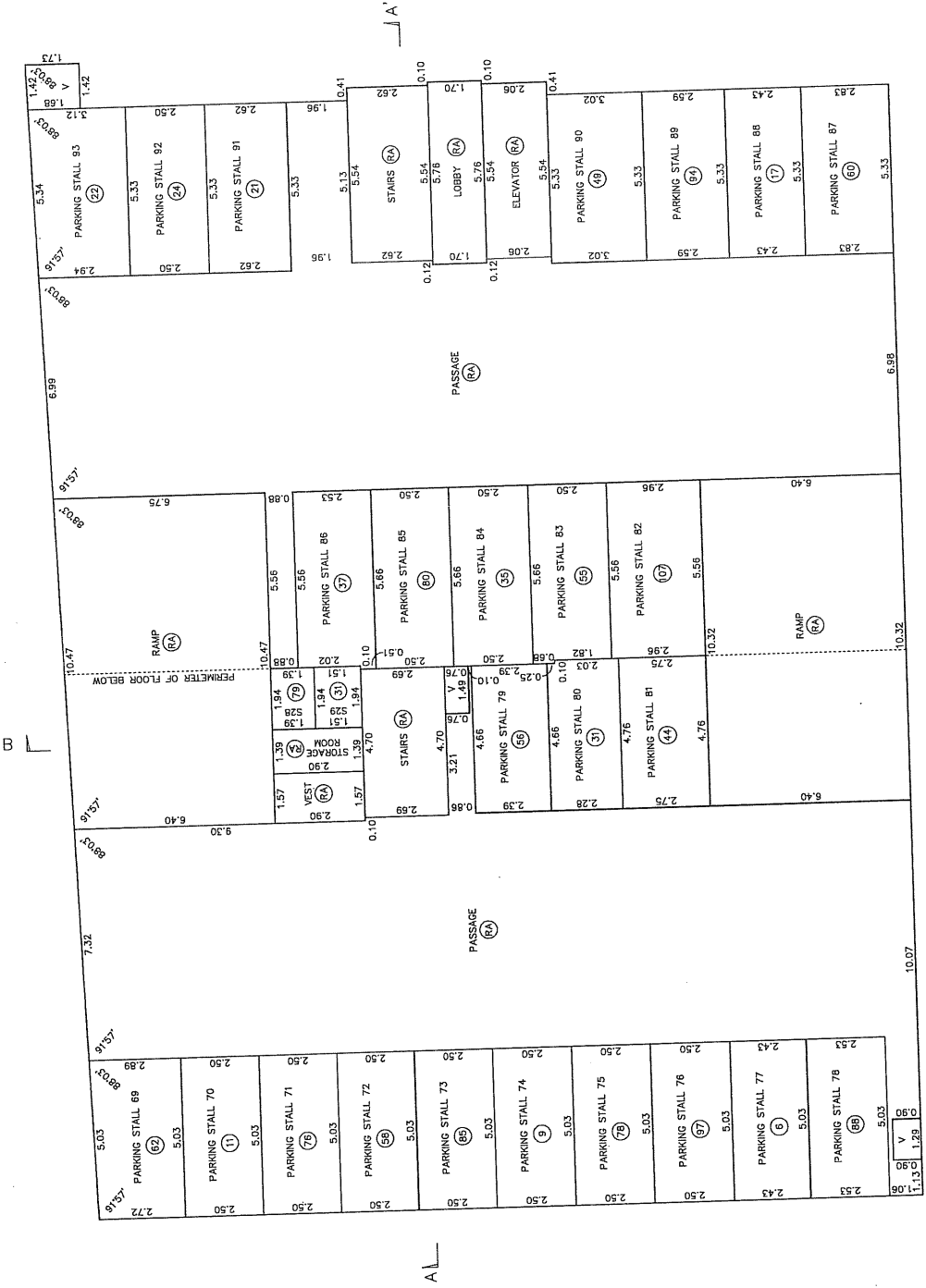
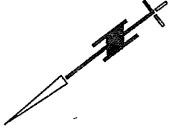
PAGE 2 OF 23 PAGES

1. Show charges that are only over a portion of the land (sheet 1, 7-18).
2. Re-designate the amenity room from "LCP for SL 6 to SL 111" to "CP" (sheet 7).

STRATA PLAN EPS2285
PHASE 1

BUILDING A - PARKING LEVEL P-4

SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
432mm in width by 580mm in height (C size)
when plotted at a scale of 1 : 100.



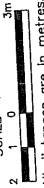
Status: Filed

SHEET 4 OF 21 SHEETS

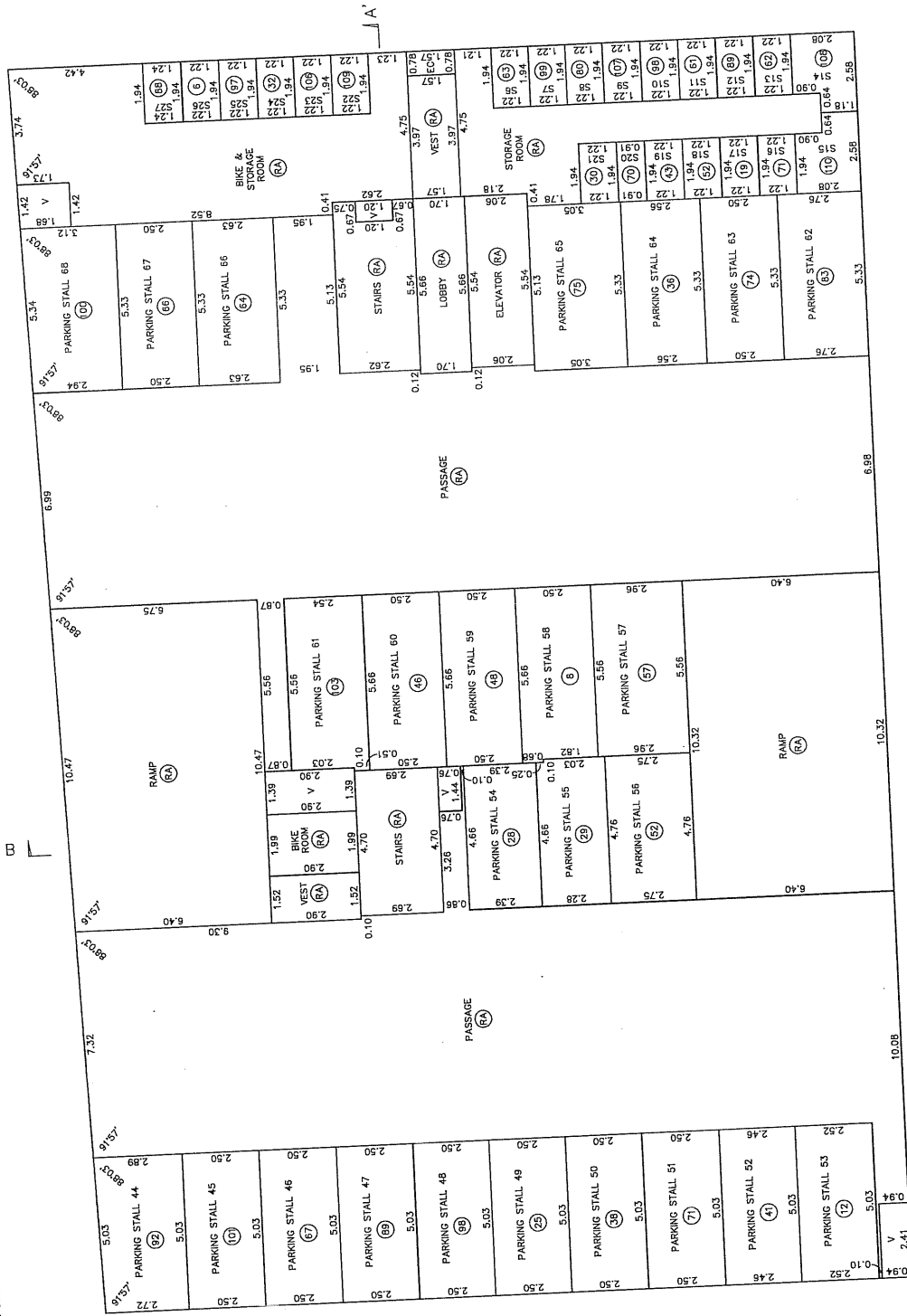
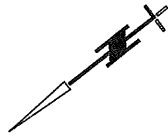
STRATA PLAN EPS2285
PHASE 1

BUILDING A - PARKING LEVEL P-3

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



MULIAWAN KOESOEMA, BCL
OCTOBER 10, 2014
File: Wd-2887R-PH1

Status: Filed

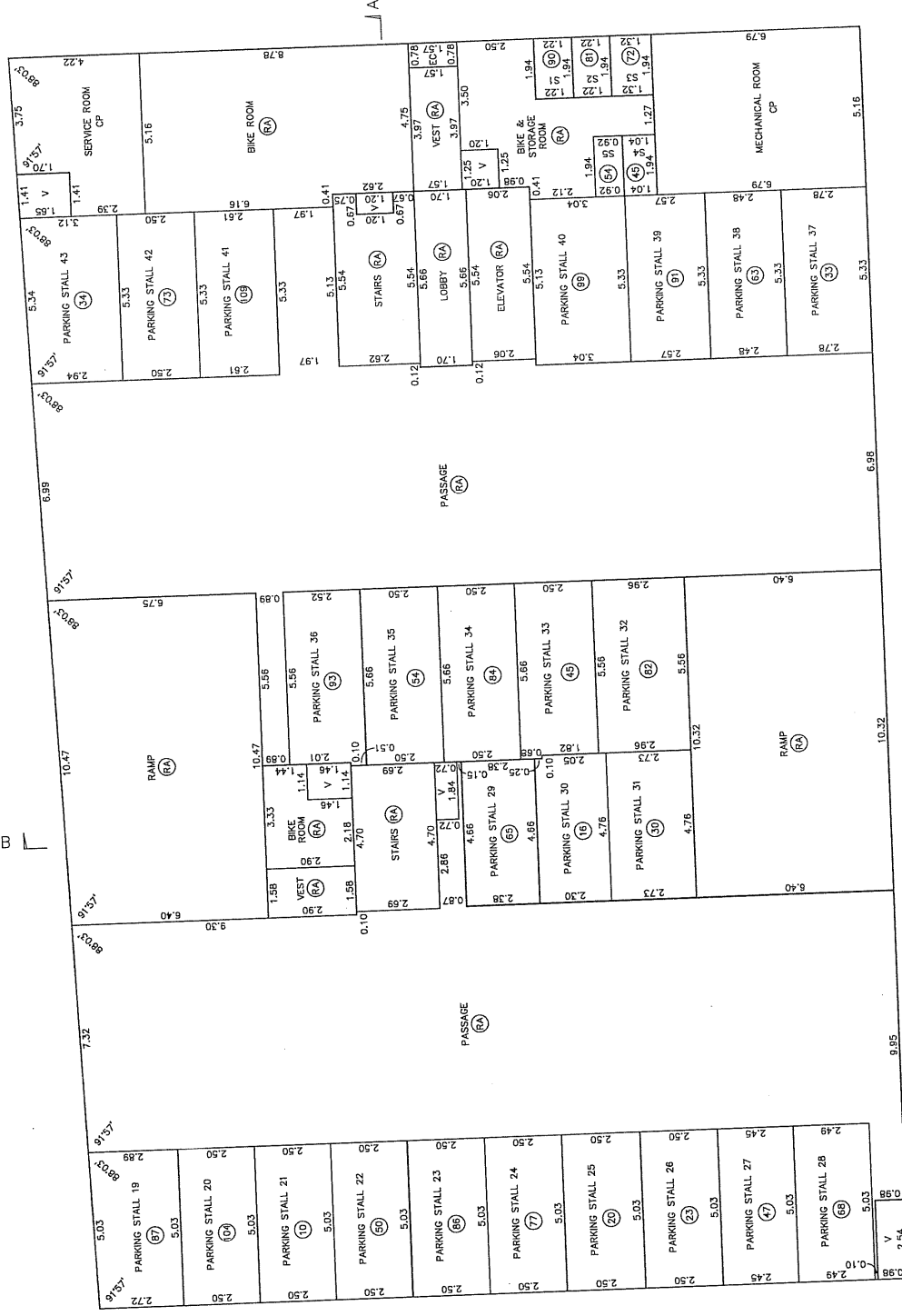
SHEET 5 OF 21 SHEETS

STRATA PLAN EPS2285
PHASE 1

BUILDING A - PARKING LEVEL P-2



SCALE 1 : 100
All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (G size)
when plotted at a scale of 1 : 100.



MULJAWAN KOESOEWA, BCL
OCTOBER 10, 2014
File: VG-2867R-PH1

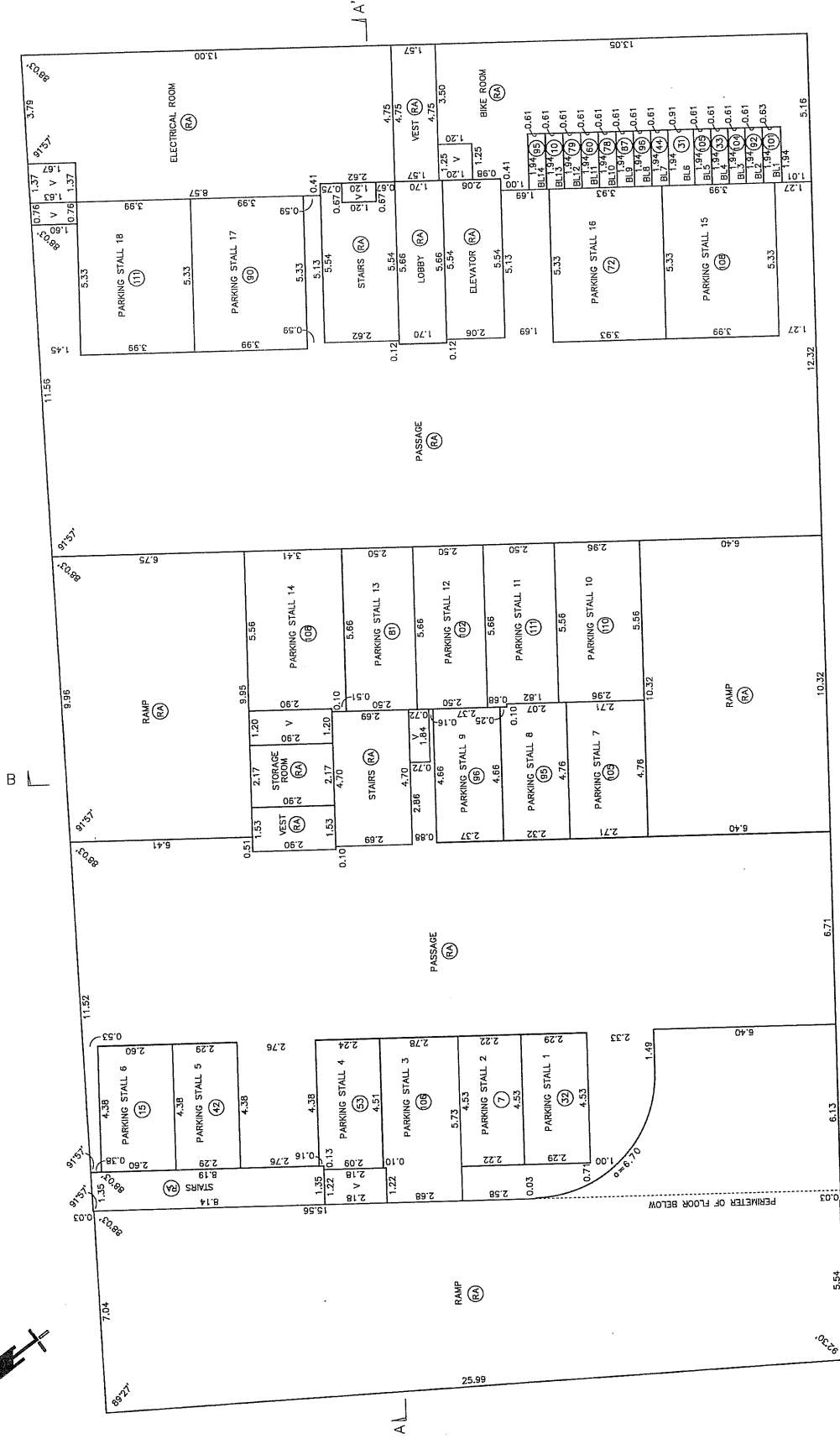
LOUIS NGAN LAND SURVEYING
4932 Victoria Drive
Vancouver, B.C. V6P 1A3
Tel: (604) 267-1538

STRATA PLAN EPS2285
PHASE 1

BUILDING A - PARKING LEVEL P-1



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.

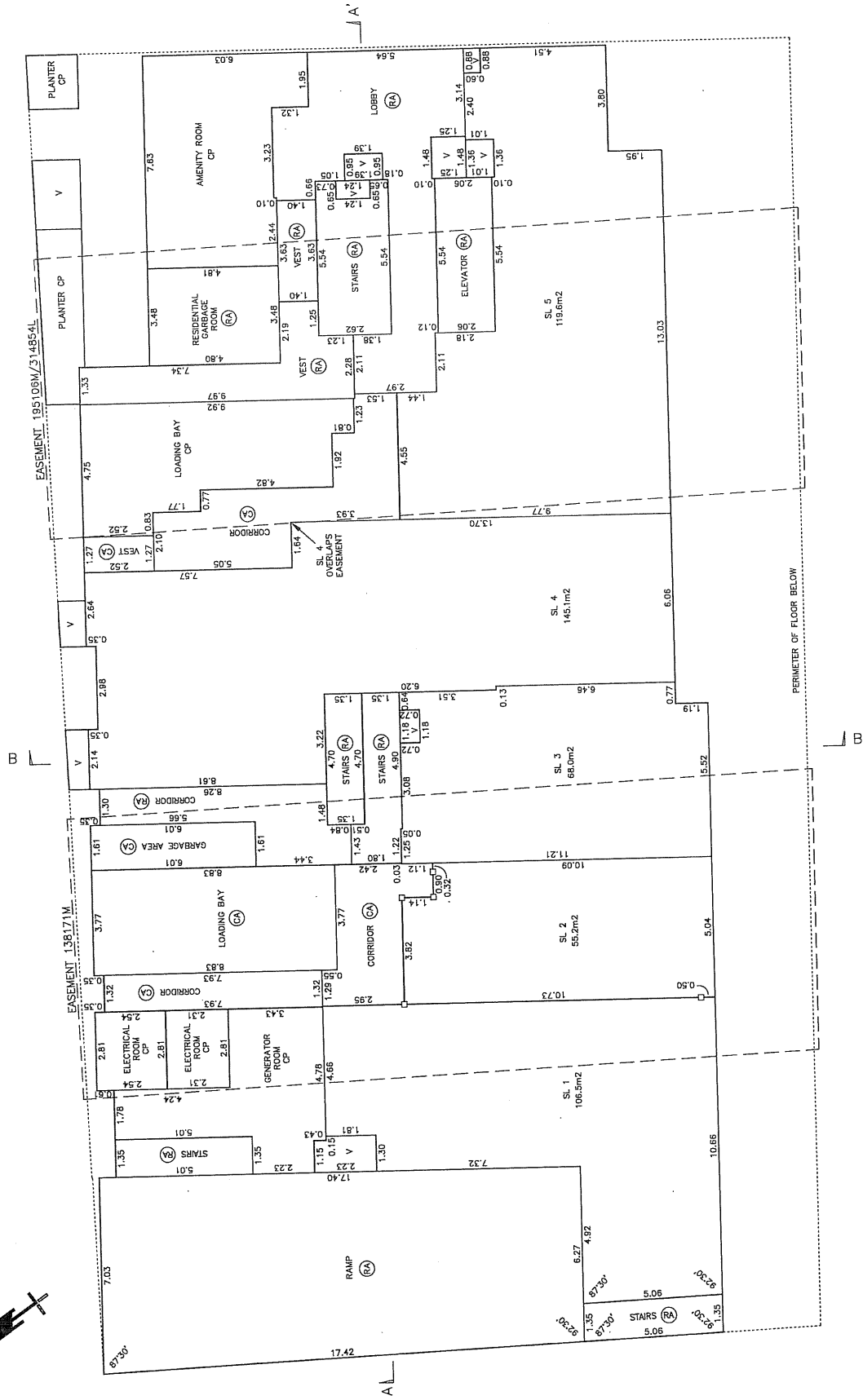
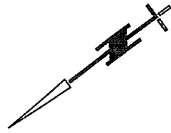


SHEET 7 OF 21 SHEETS

STRATA PLAN EPS2285
PHASE 1

BUILDING A - FIRST FLOOR

SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



MULIAWAN KOESOMA BCL
OCTOBER 10, 2014
File: VN-28877R-PH1

LOUIS NGAN LAND SURVEYING
2880 Highway 100, Unit 318
Vancouver, B.C. V6P 3T8
Tel: (604) 327-1535

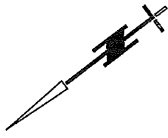
Status: Filed

SHEET 8 OF 21 SHEETS

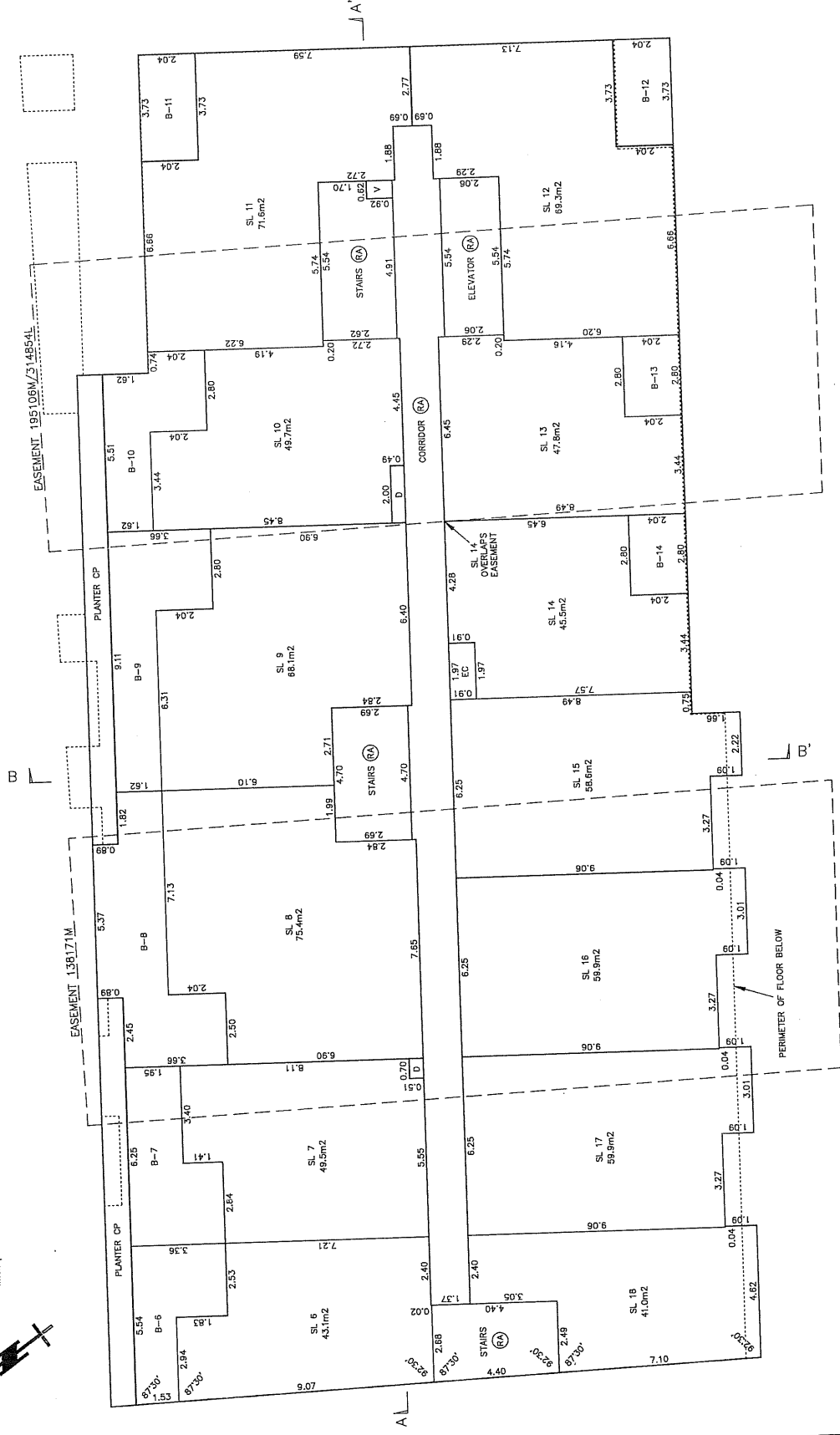
STRATA PLAN EPS2285
PHASE 1

BUILDING A - SECOND FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (G size)
when plotted at a scale of 1 : 100.

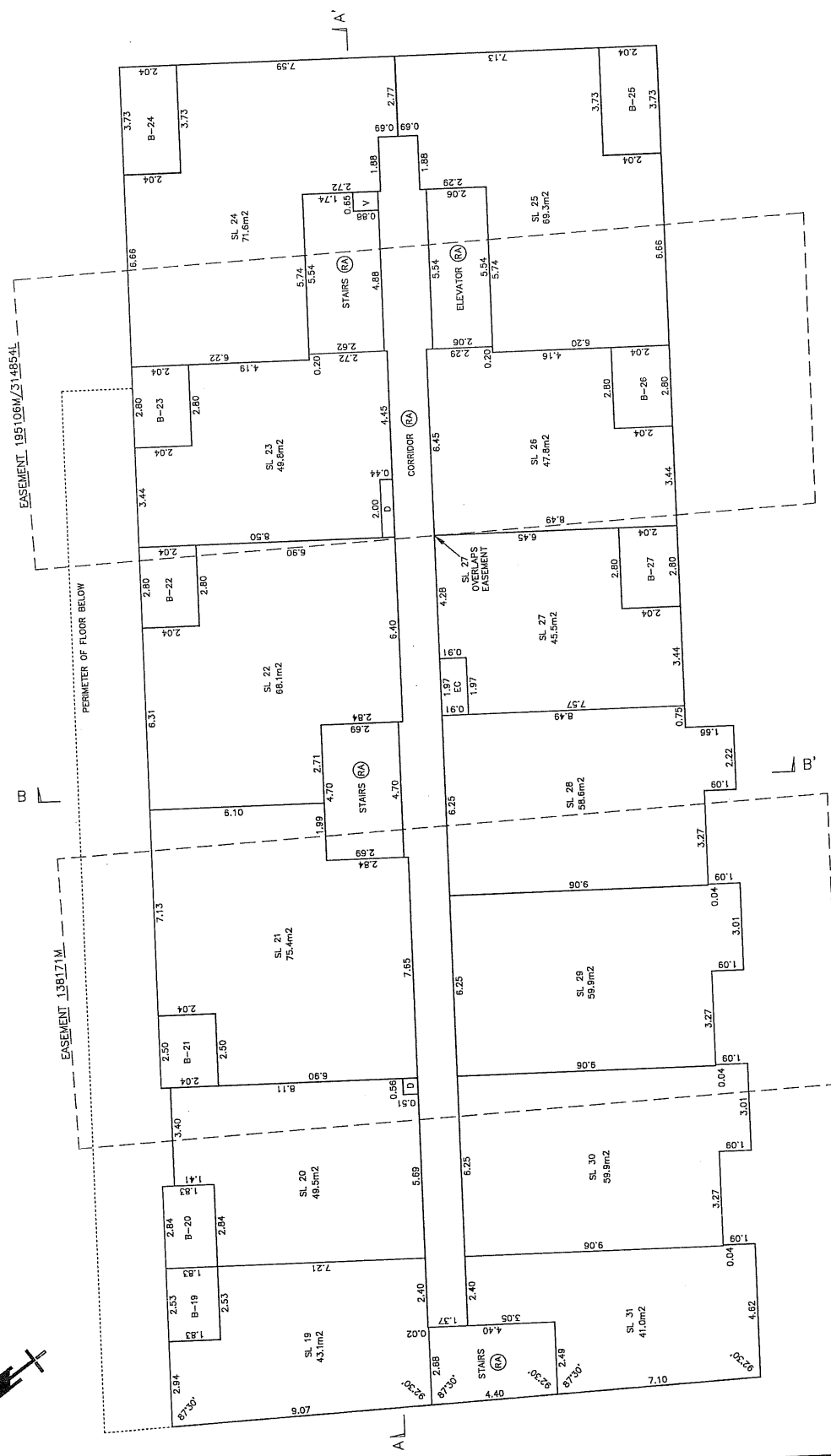
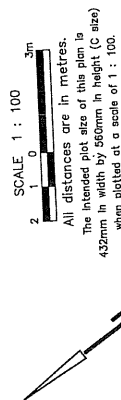


MULIAWAN KOESEMA, BCL
OCTOBER 10, 2014
File: V01-2867R-PH1

LOUIS NGAN LAND SURVEYING
100-10101, 100-10101, 100-10101
Vancouver, B.C., V6P 3T6
Tel: (604) 327-1535

STRATA PLAN EPS2285
PHASE 1

BUILDING A - THIRD FLOOR



MULIAWAN KOESOEMA, BCLS
OCTOBER 10, 2014
File: VKI-2667TR-PH1

LOUIS NGAN LAND SURVEYING
4932 Victoria Drive
Vancouver, B.C., V5P 3T6
Tel: (604) 327-1535

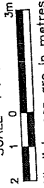
Status: Filed

SHEET 10 OF 21 SHEETS

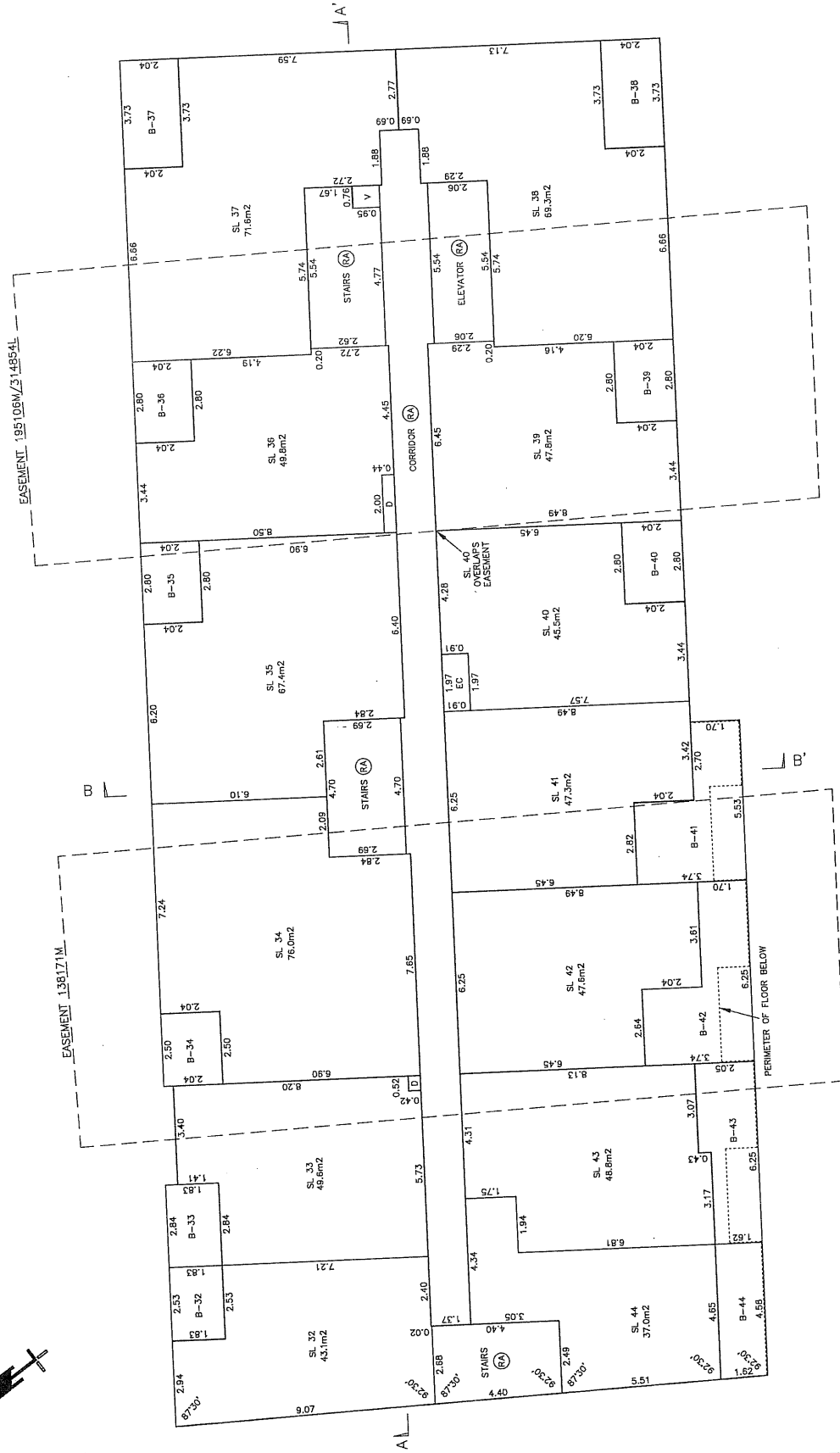
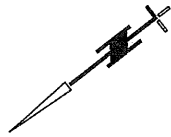
STRATA PLAN EPS2285
PHASE 1

BUILDING A — FOURTH FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



MULIAWAN KOESOEMA, BCL
OCTOBER 10, 2014
File: VKI-2867R-PHI

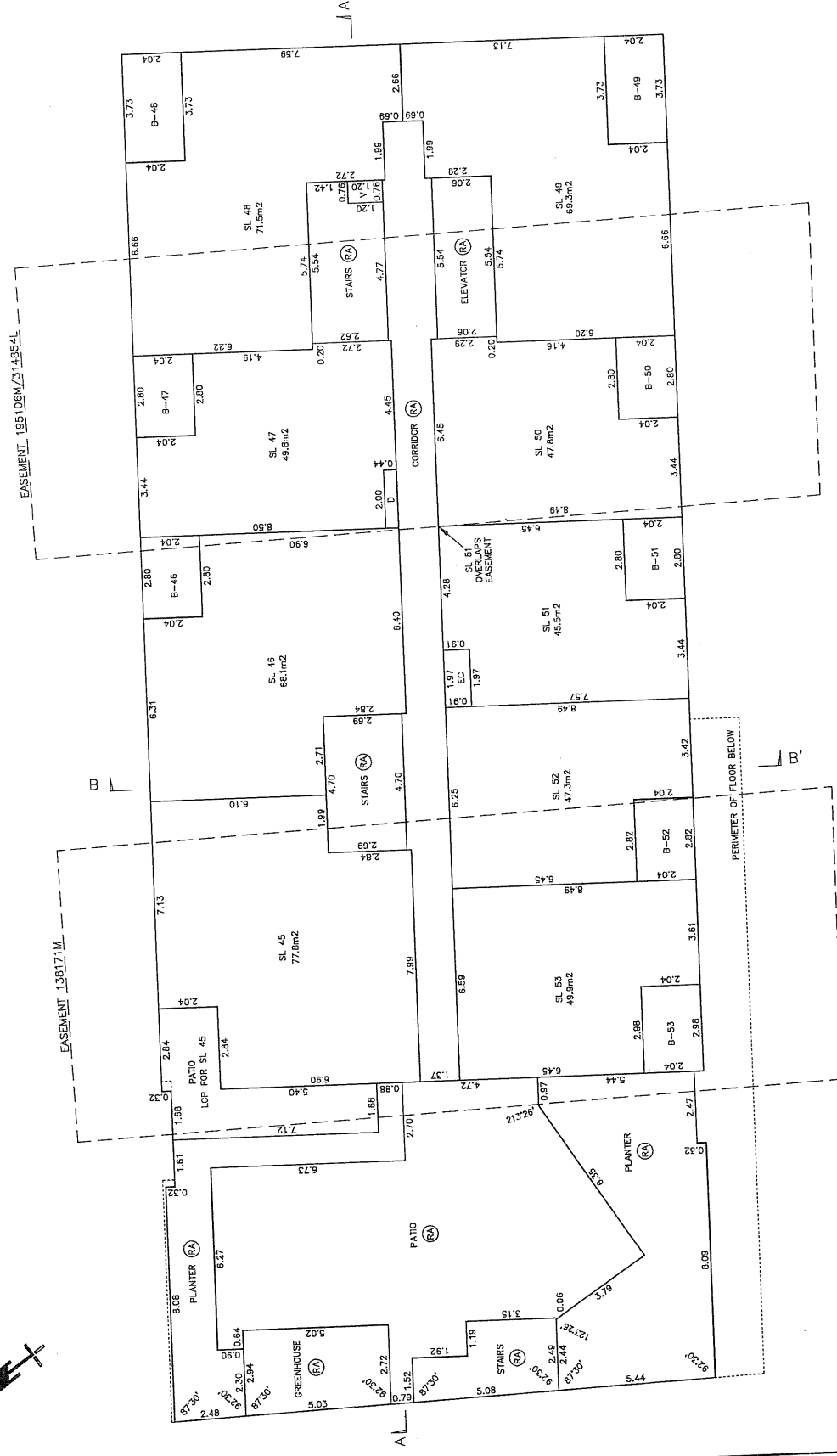
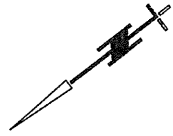
STRATA PLAN EPS2285
PHASE 1

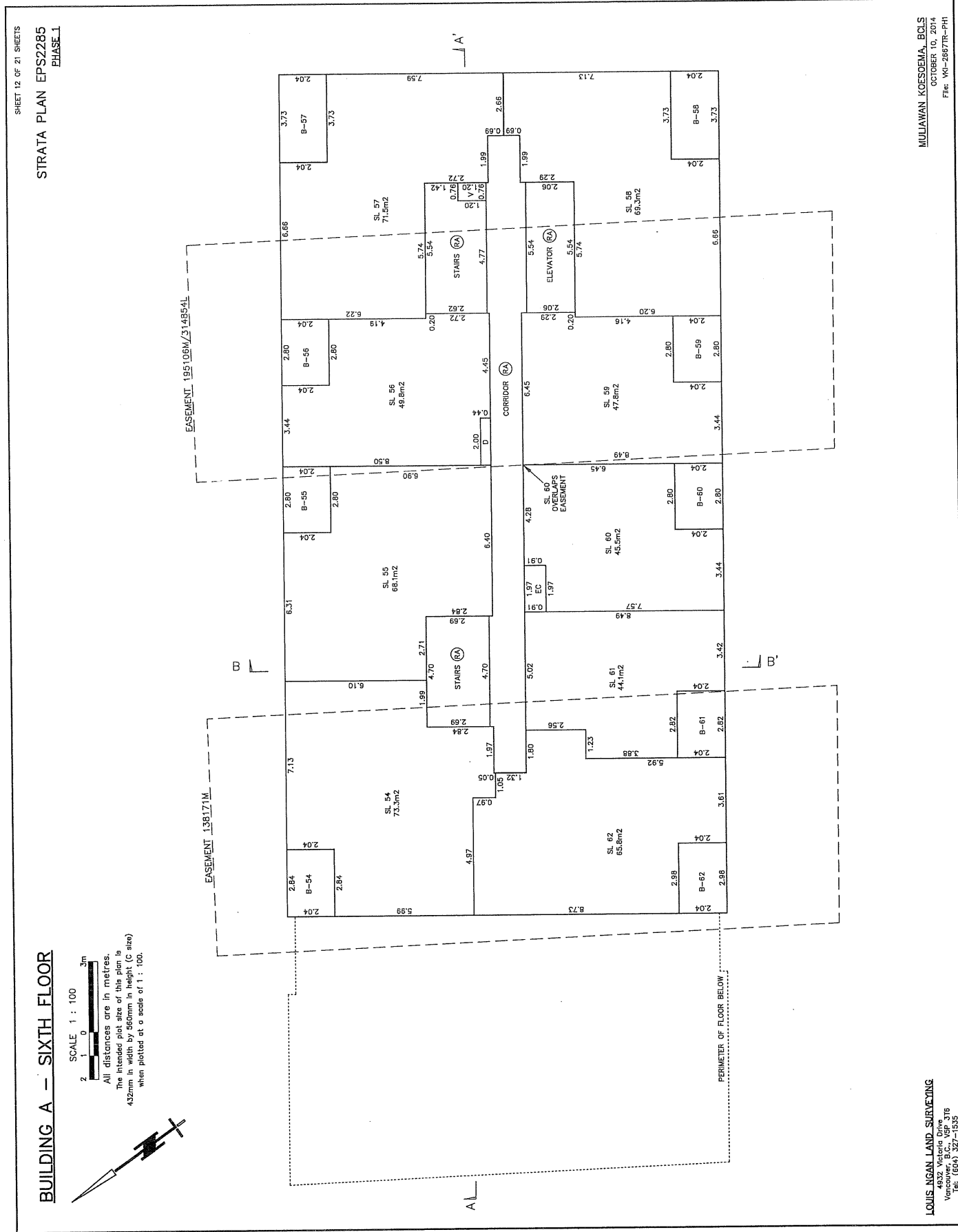
BUILDING A - FIFTH FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.





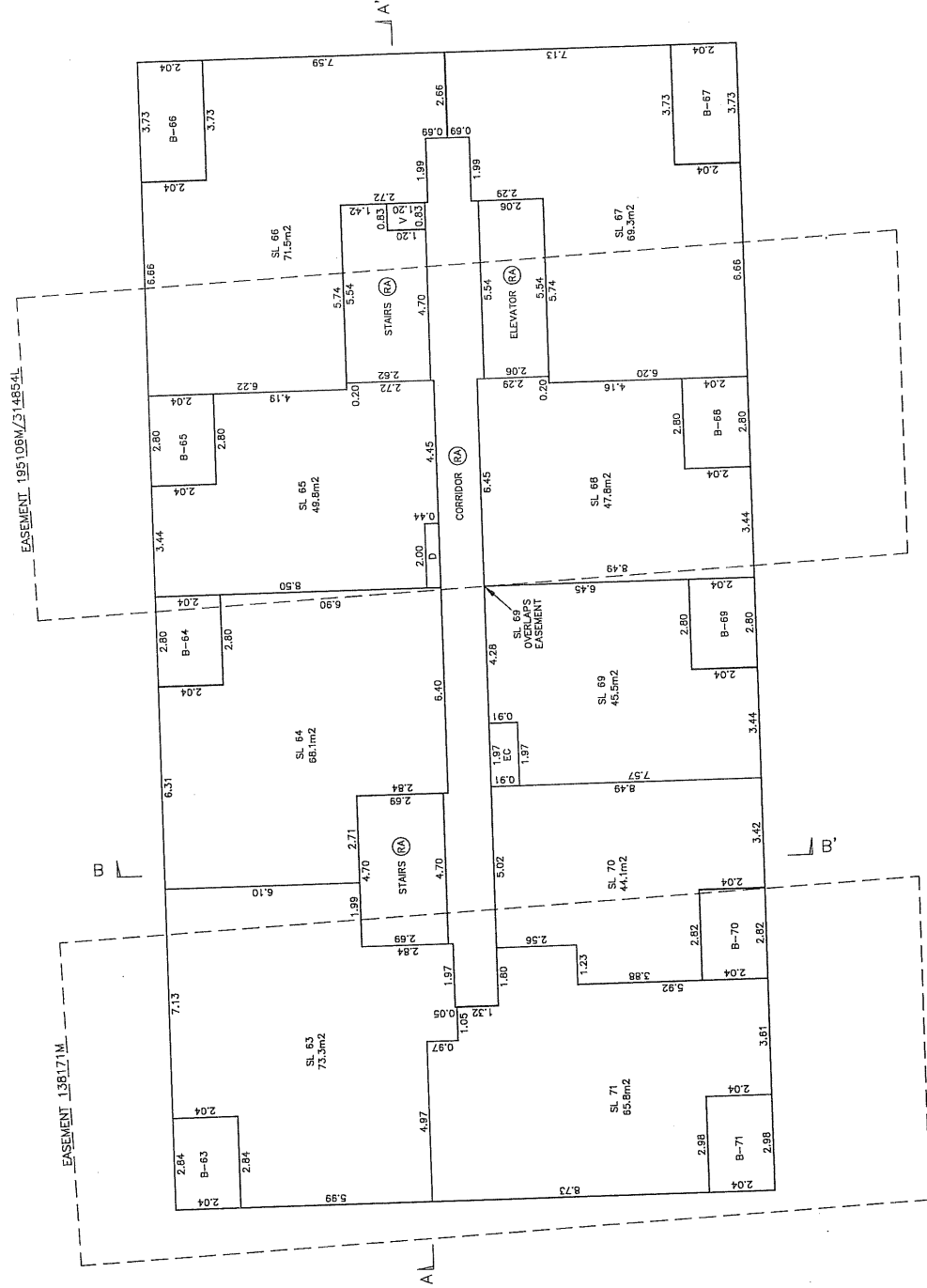
STRATA PLAN EPS2285
PHASE 1

BUILDING A - SEVENTH FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



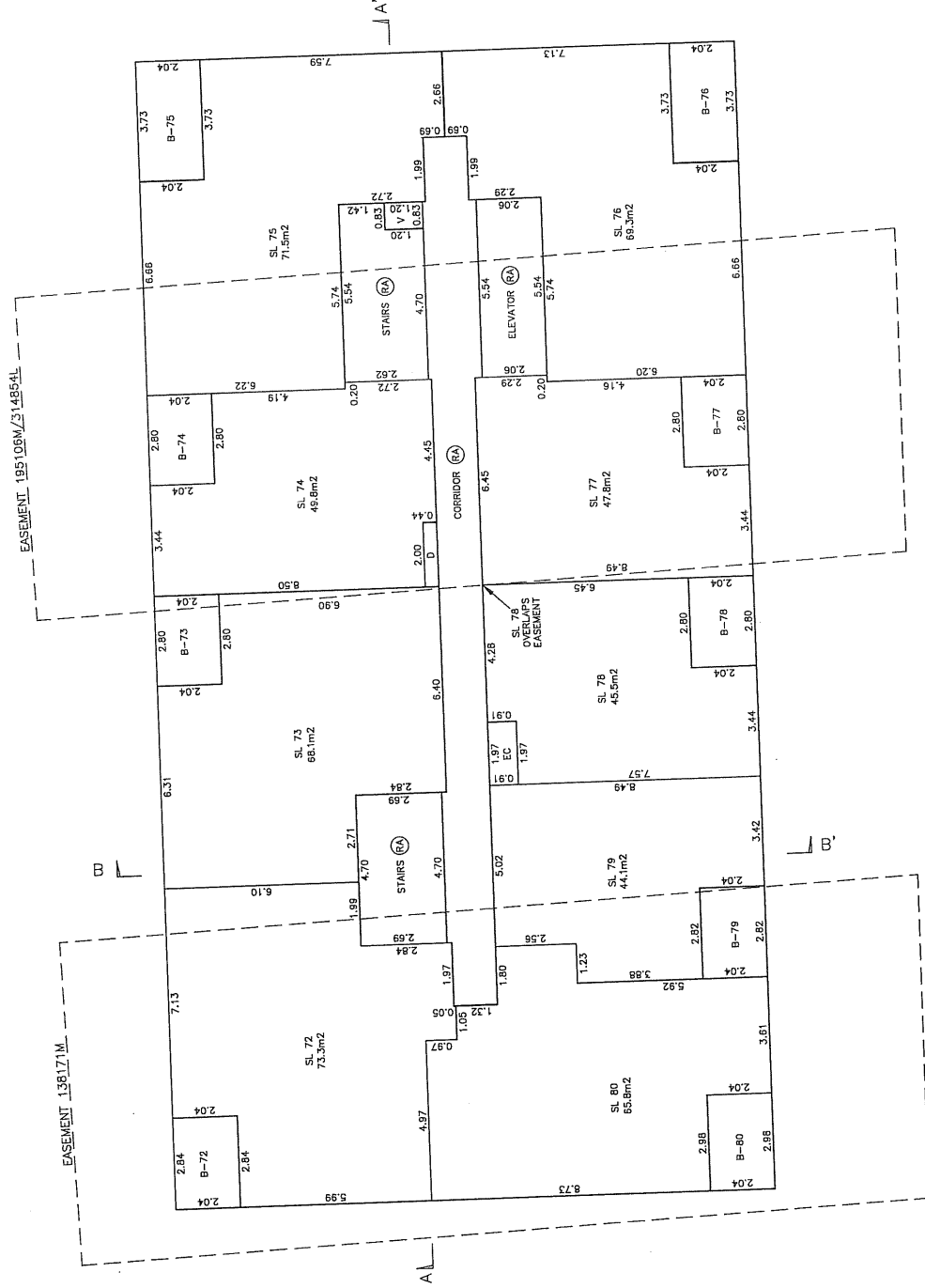
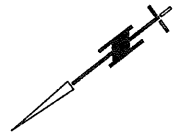
STRATA PLAN EPS2285
PHASE 1

BUILDING A - EIGHTH FLOOR

SCALE 1 : 100

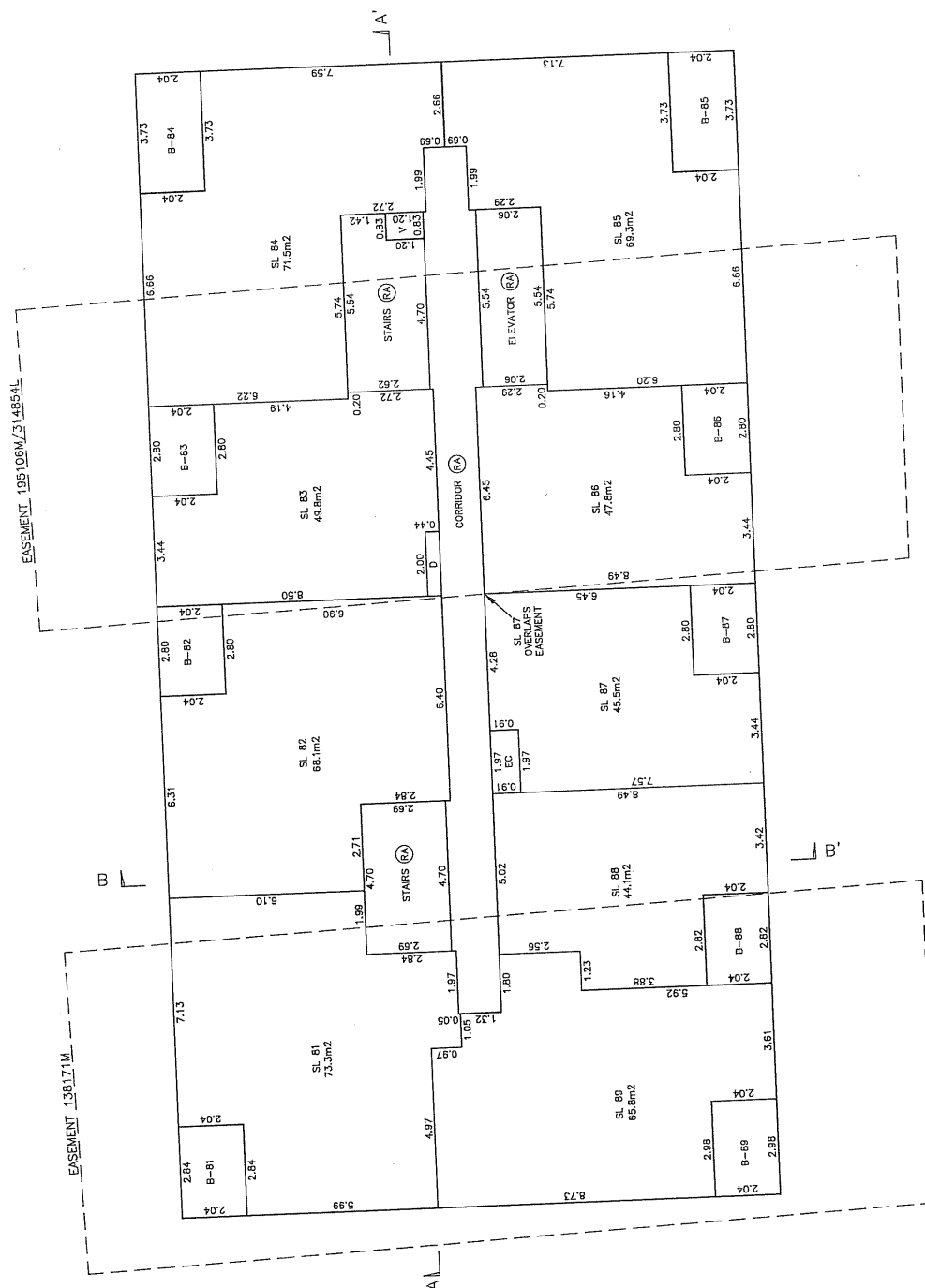
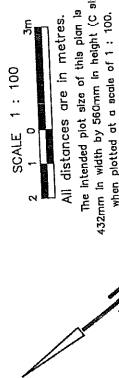


All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



STRATA PLAN EPS2285
PHASE 1

BUILDING A -- NINTH FLOOR



MULJAWAN KOESOEMA, BCLS
OCTOBER 10, 2014
File: VKI-26677R-PH1

LOUIS NGAN LAND SURVEYING
4932 Victoria Drive
Vancouver, B.C., V5P 3T6
Tel: (604) 327-1535

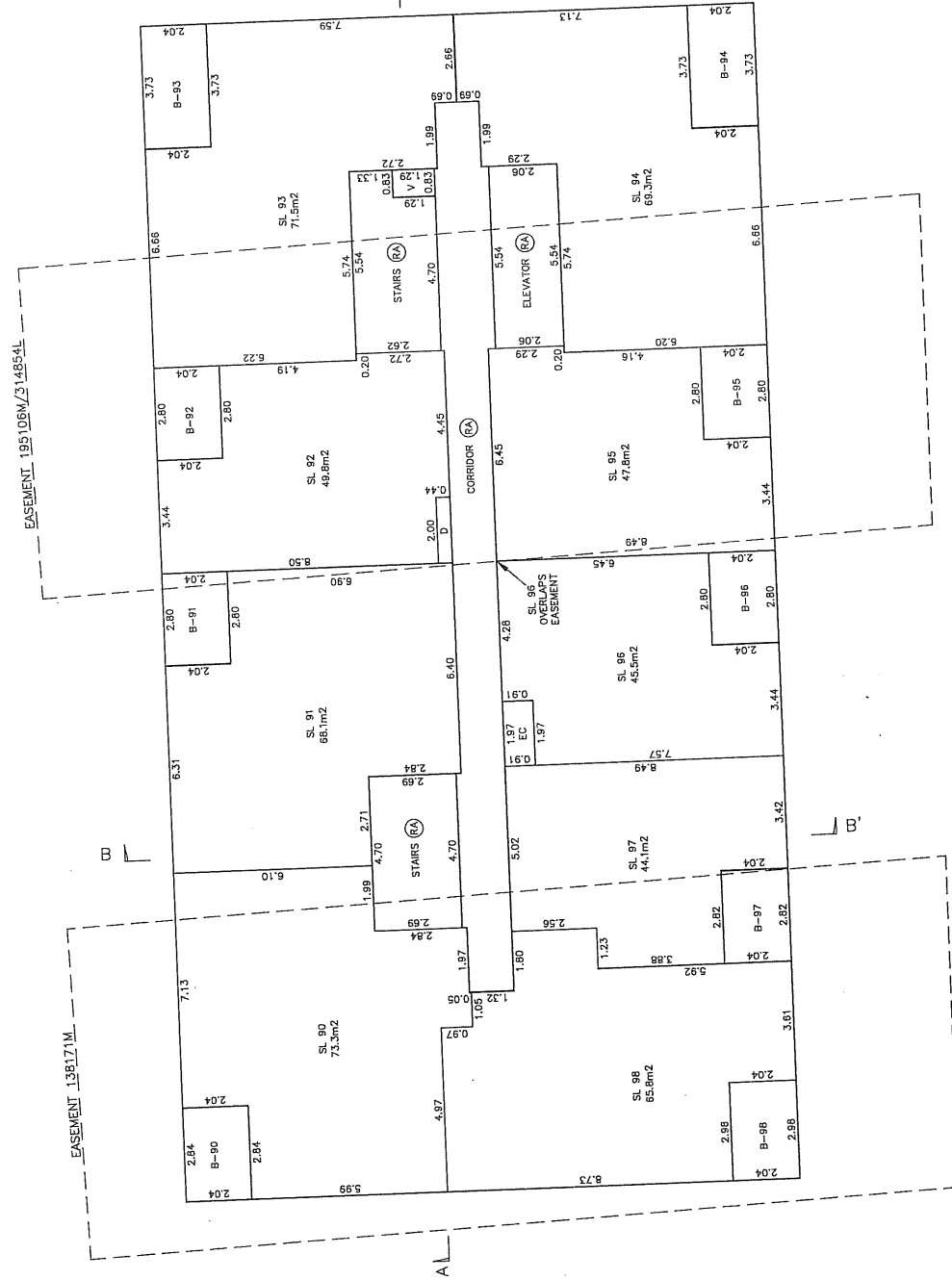
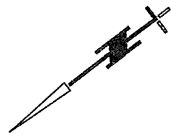
STRATA PLAN EPS2285
PHASE 1

BUILDING A - TENTH FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



MULAWAN KOESOEMA, BCL
OCTOBER 10, 2014
File: VN-2607R-PH1

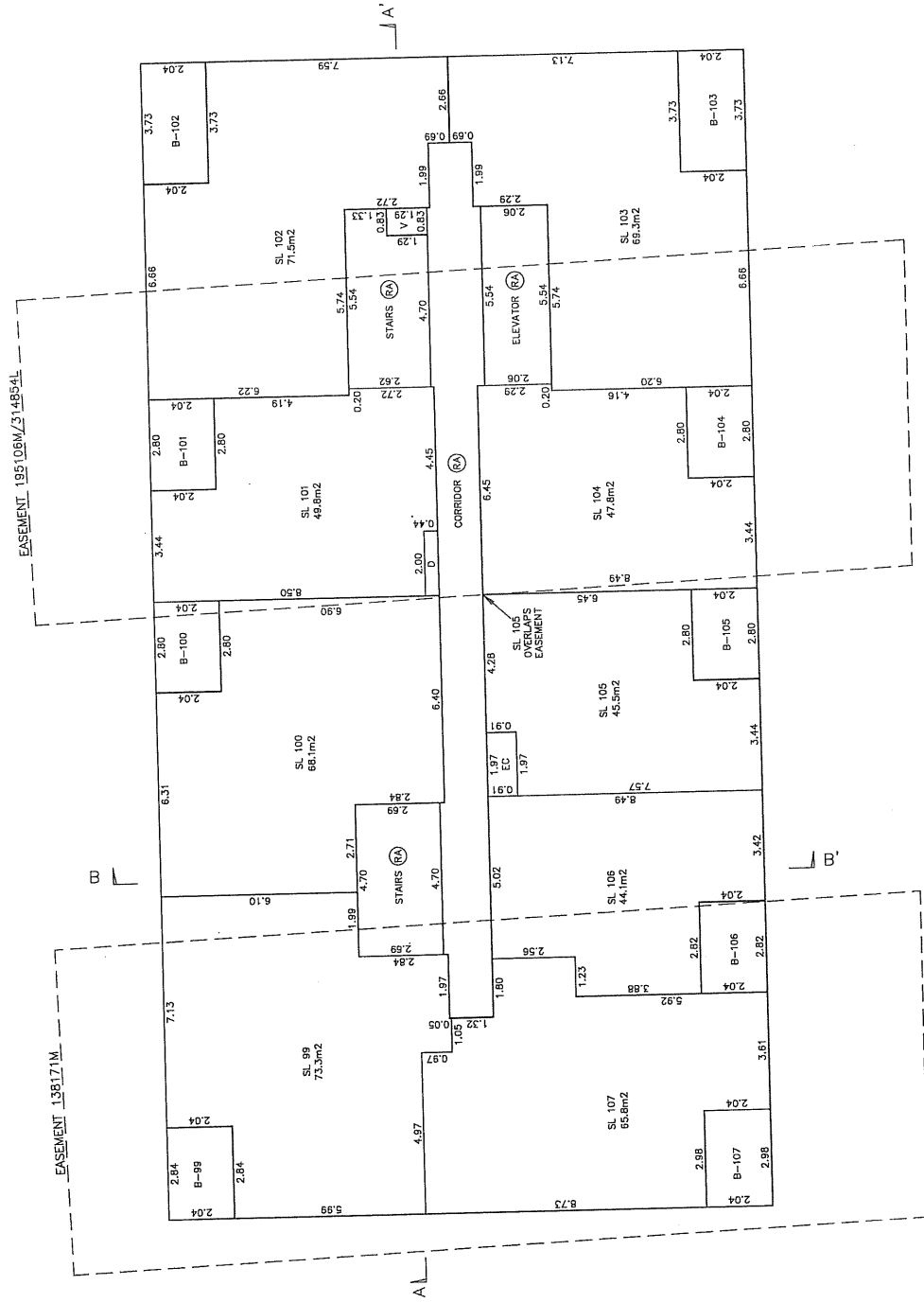
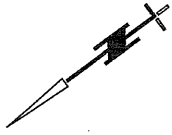
SHEET 17 OF 21 SHEETS

STRATA PLAN EPS2285
PHASE 1

BUILDING A — ELEVENTH FLOOR

SCALE 1 : 100
2 1 0 3m

All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



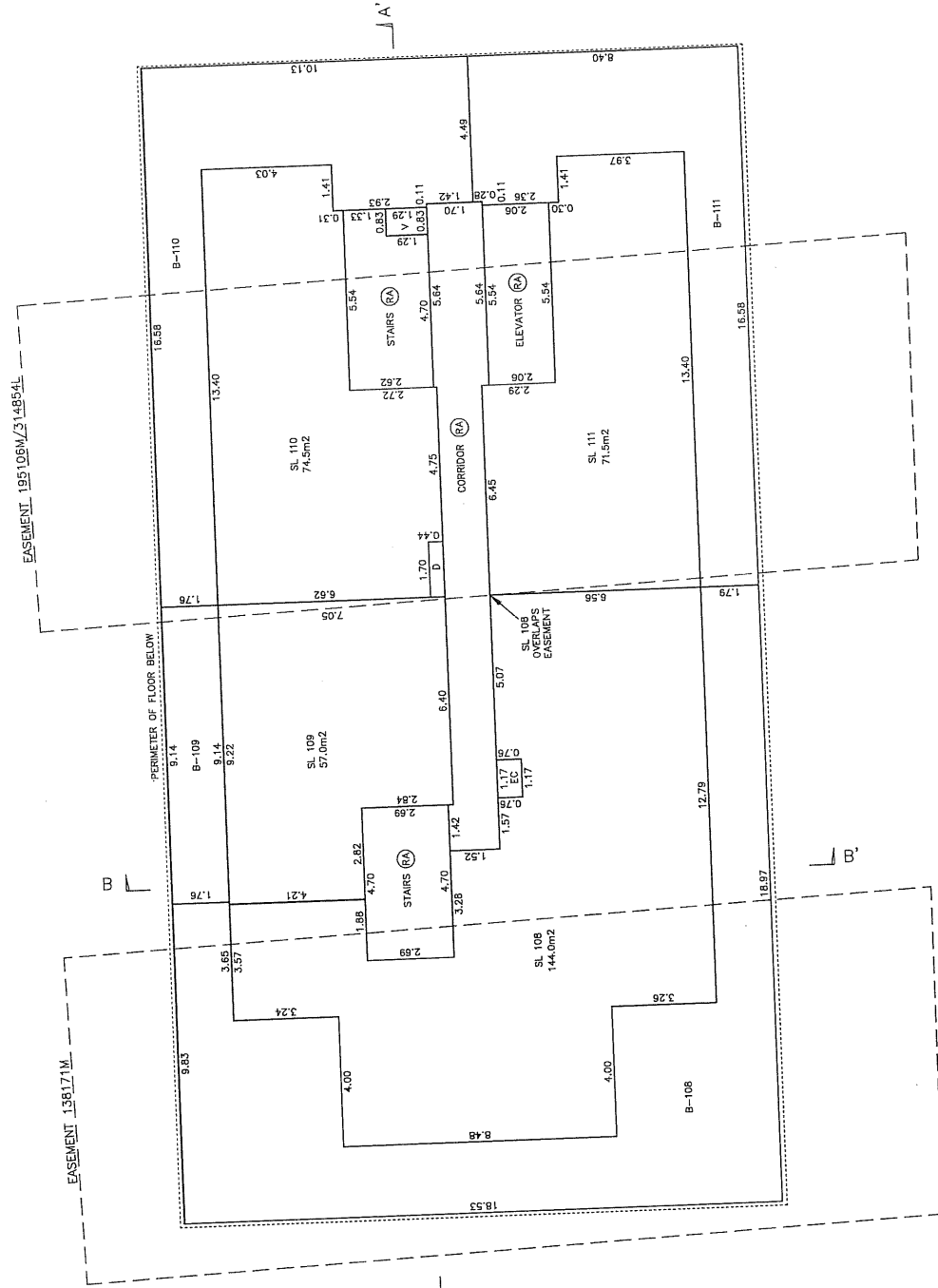
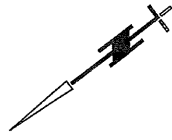
STRATA PLAN EPS2285
PHASE 1

BUILDING A – TWELFTH FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.



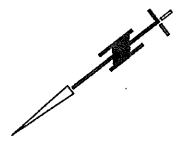
Status: Filed

SHEET 19 OF 21 SHEETS

STRATA PLAN EPS2285
PHASE 1

BUILDING A - ROOF

SCALE 1 : 100
2
1
0
3m
All distances are in metres.
The intended plot size of this plan is
432mm in width by 560mm in height (C size)
when plotted at a scale of 1 : 100.

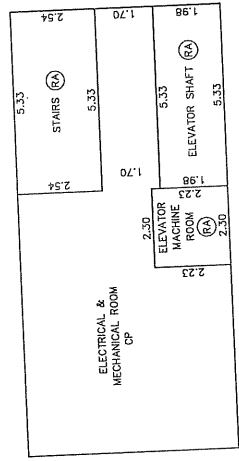


B

A

PERIMETER OF FLOOR BELOW

OPEN TO BELOW
CP



OPEN TO BELOW
CP

B

MULAWAN KOESDEMA, BCL
OCTOBER 10, 2014
File: YK-2867R-PH1

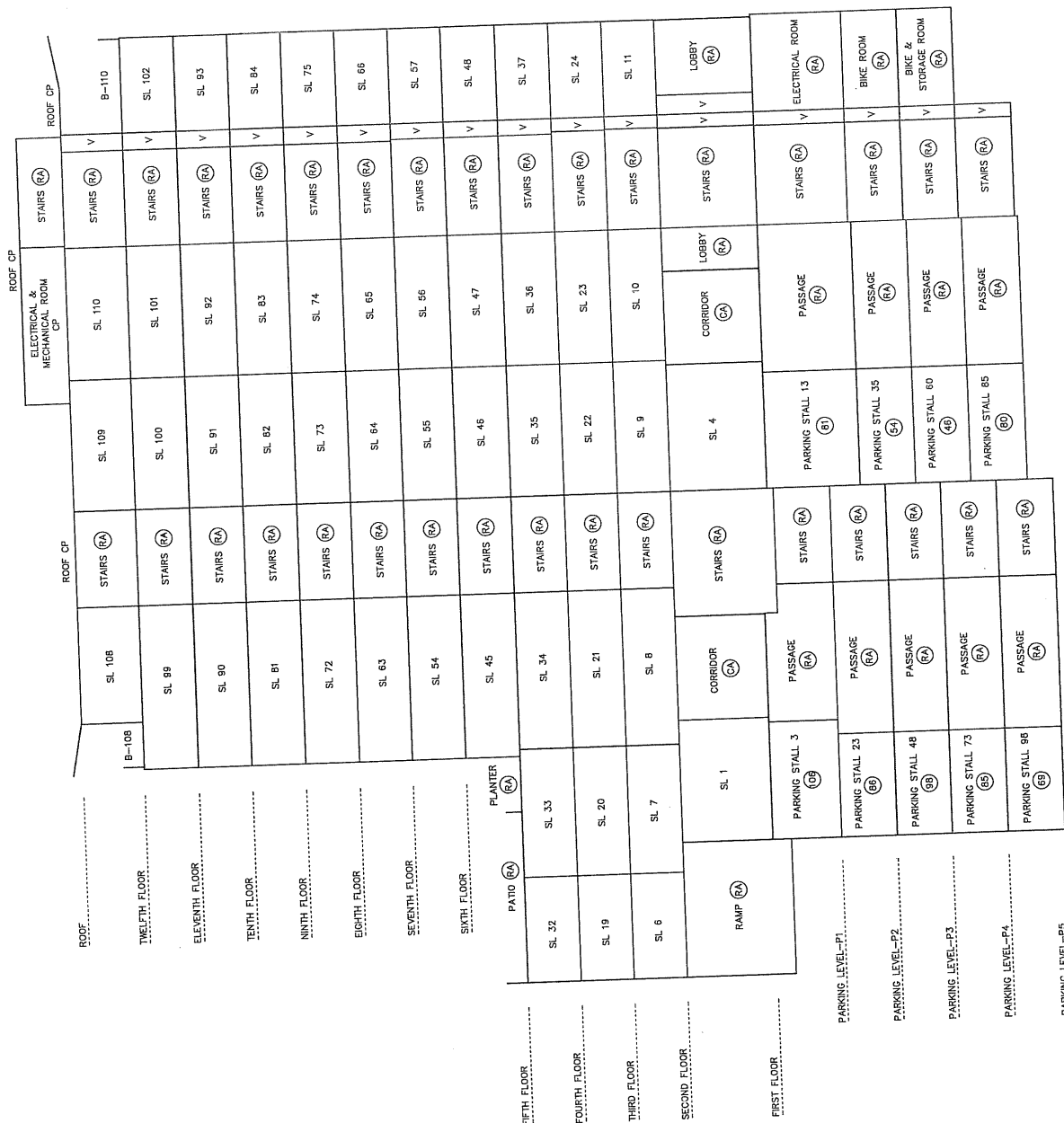
LOUIS NGAN LAND SURVEYING
4532 Victoria Drive
Vancouver, B.C., V6P 3T6
Tel: (604) 327-1555

STRATA PLAN EPS2285
PHASE 1

BUILDING A - SECTION A-A'



The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1 : 150.



MULIAWAN KOESOEMA, BOLS
OCTOBER 10, 2014
File: VKI-2667TR-PH1

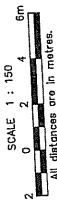
LOUIS NGAN LAND SURVEYING
4932 Victoria Drive
Vancouver, B.C., V5P 3T6
Tel: (604) 327-1535

Status: Filed

STRATA PLAN EPS2285
PHASE 1

SHEET 21 OF 21 SHEETS

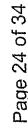
BUILDING A - SECTION B-B'



The intended plot size of this plan is 432mm in width by 560mm in height (C size) when plotted at a scale of 1 : 150.



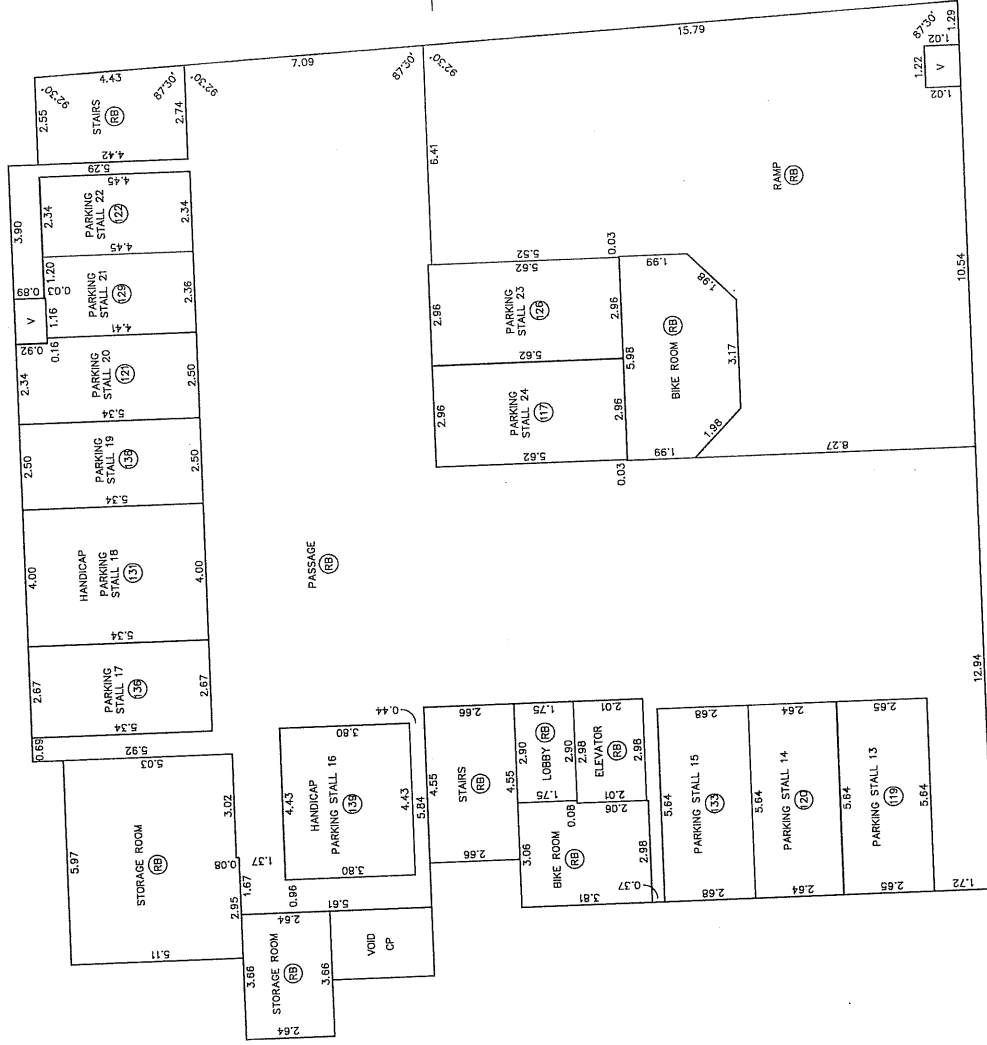
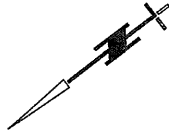
MULIAWAN KOESOEIMA BOLS
OCTOBER 10, 2014
File: VAI-28677R-PHI



STRATA PLAN EPS2285
PHASE 2

BUILDING B - PARKING LEVEL P-3

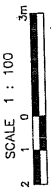
SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



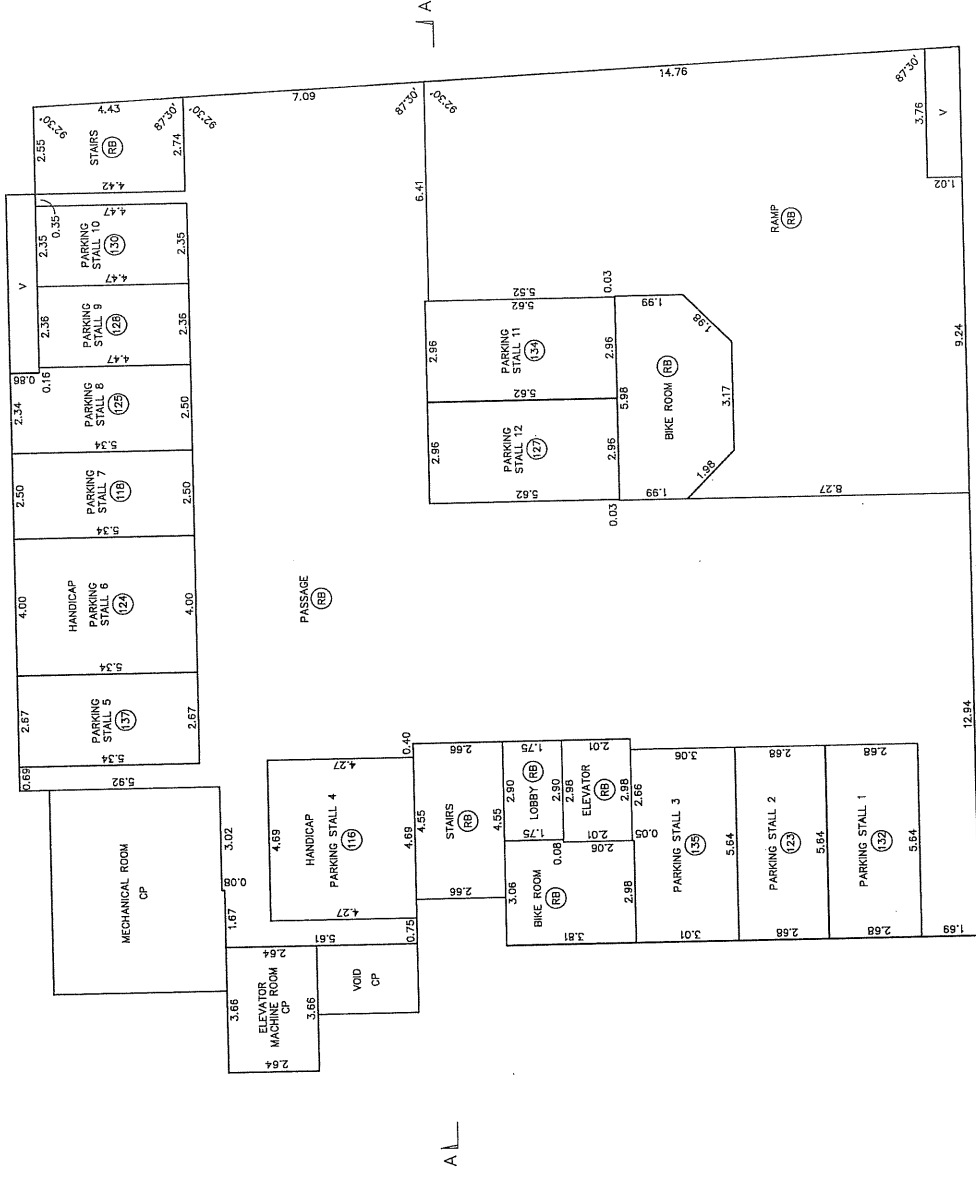
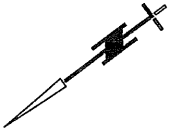
SHEET 3 OF 11 SHEETS

STRATA PLAN EPS2285
PHASE 2

BUILDING B - PARKING LEVEL P-2



SCALE 1 : 100
All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.

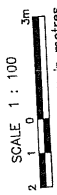


MULAWAN KOESOEMA, BCL
SEPTEMBER 3, 2015
File: WD-2667TR-PH2

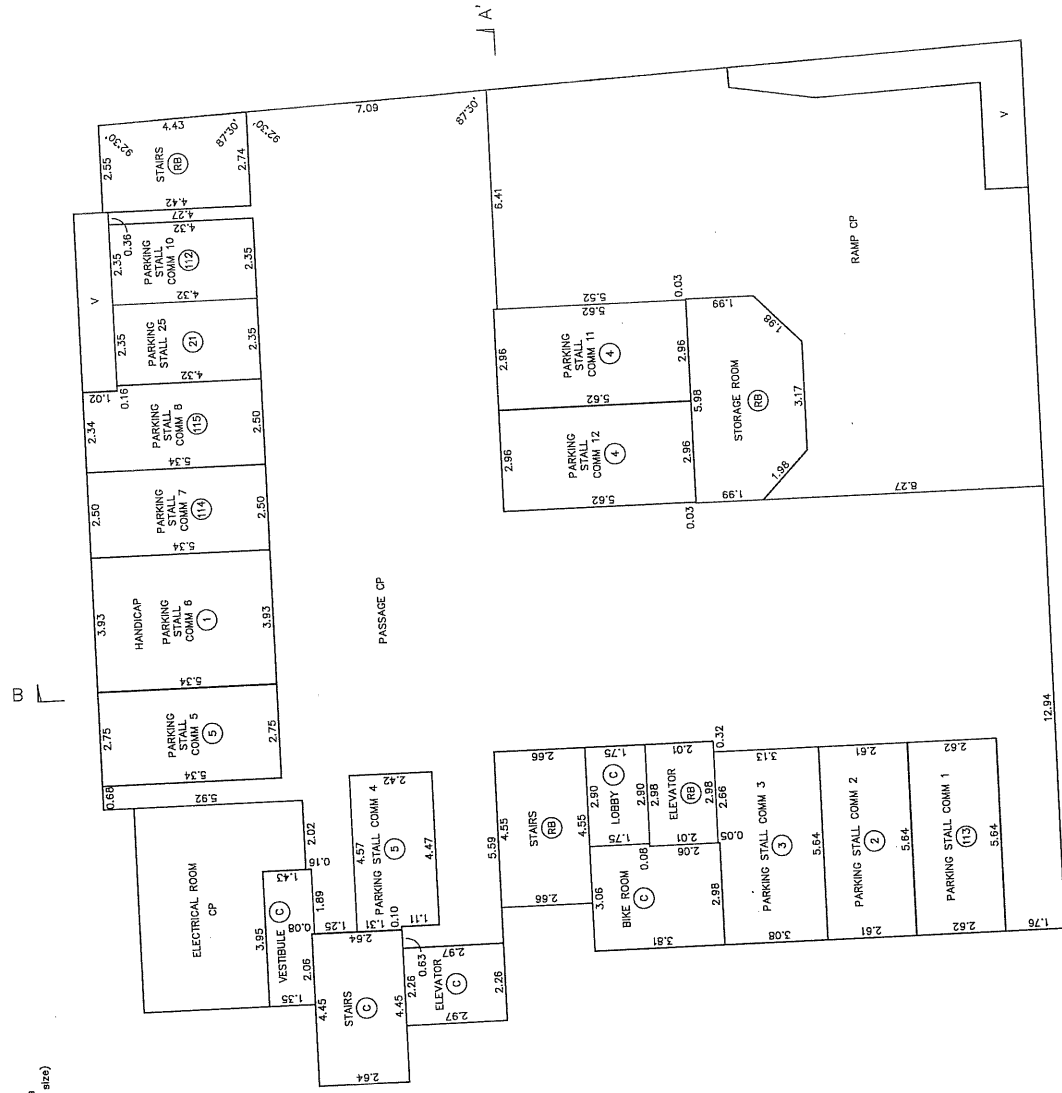
LOUIS NGAN LAND SURVEYING
Vancouver, B.C. V6P 3T6
Tel: (604) 327-1535

STRATA PLAN EPS2285
PHASE 2

BUILDING B - PARKING LEVEL P-1



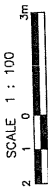
All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



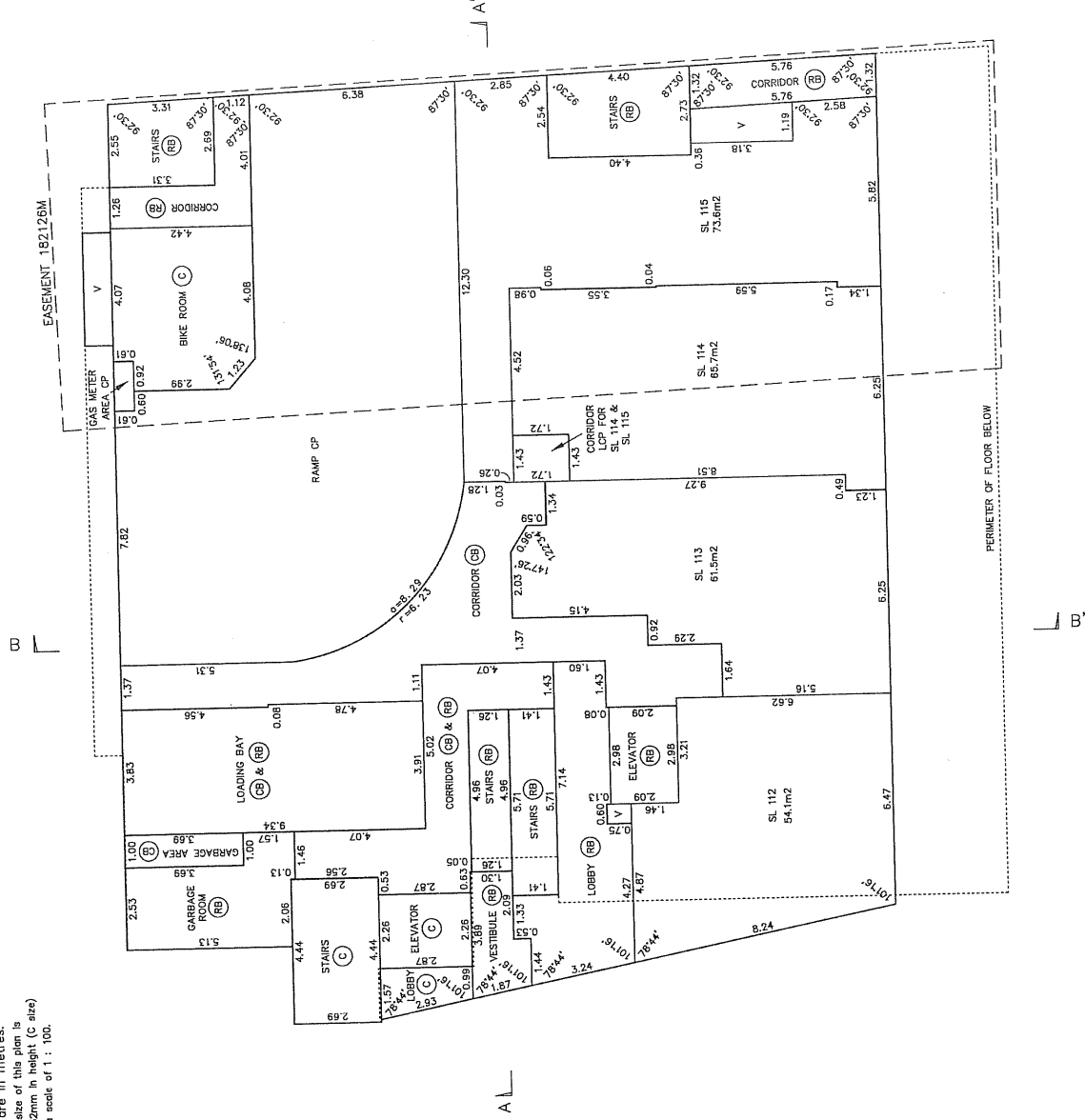
SHEET 5 OF 11 SHEETS

STRATA PLAN EPS2285
PHASE 2

BUILDING B — FIRST FLOOR



SCALE 1 : 100
All distances are in metres.
The intended plot size of this plan is
580mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



MULIAWAN KOESOEMA, BCL
SEPTEMBER 3, 2015
File: WK-2667TR-PH2

LOUIS NGAN LAND SURVEYING
4832 Victoria Park
Vancouver, BC V6P 3T8
Tel: (604) 327-1535

SHEET 6 OF 11 SHEETS

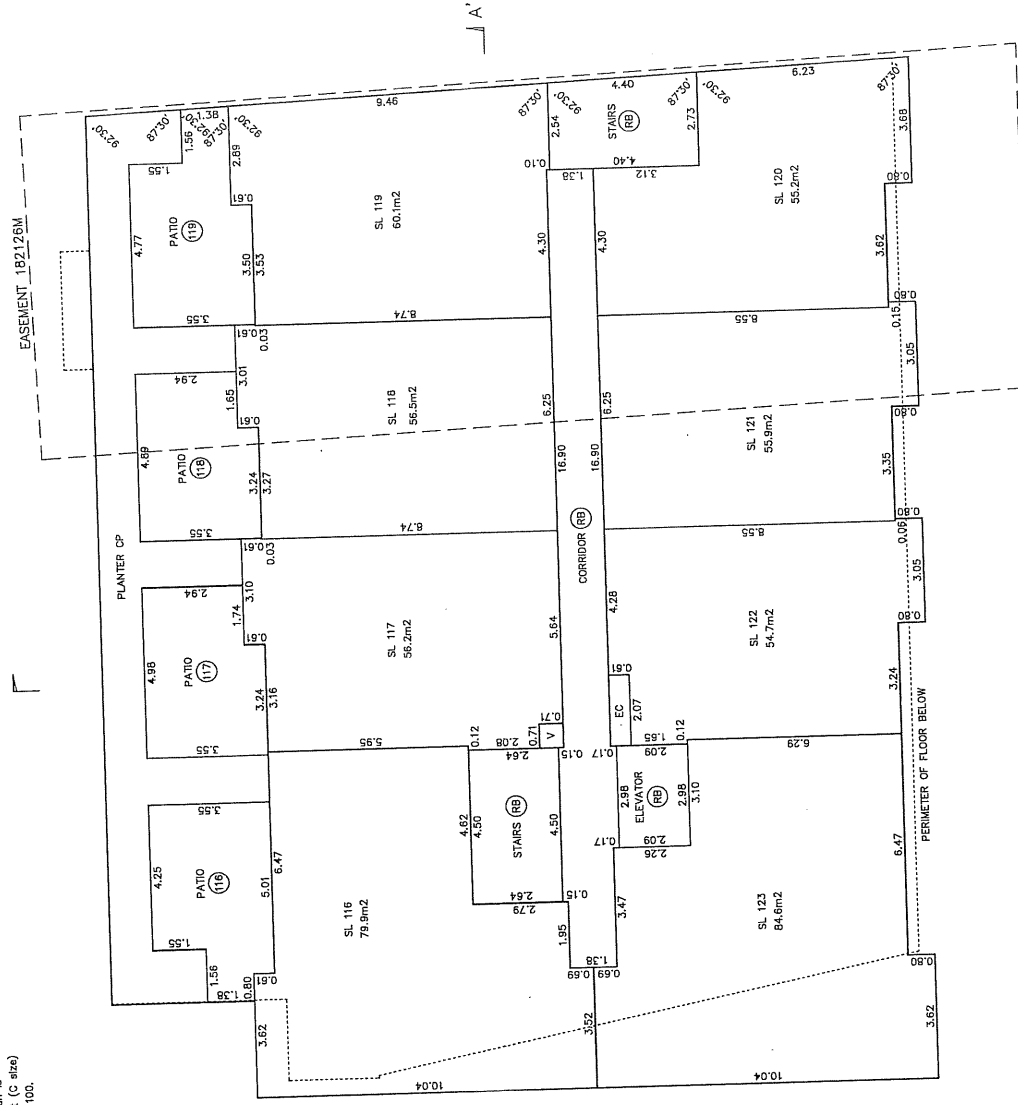
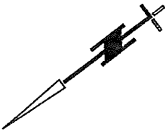
STRATA PLAN EPS2285
PHASE 2

BUILDING B - SECOND FLOOR

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



B

MULIYAN KOESOMA, BCL
SEPTEMBER 3, 2015
File: VM-2667R-PH2

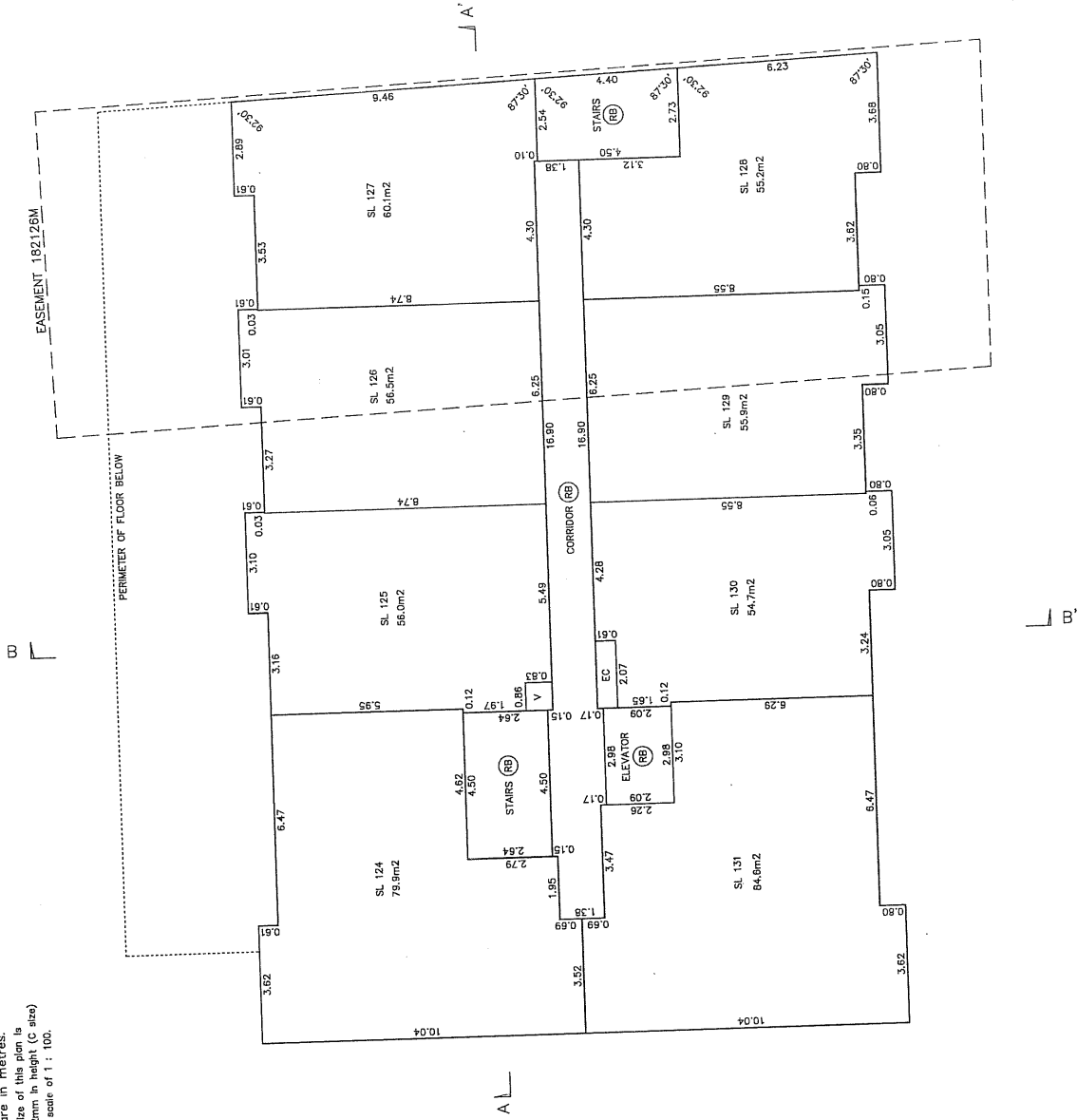
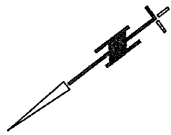
LOUIS NGAN LAND SURVEYING
4832 Victoria Drive
Vancouver, B.C., V6P 3T6
Tel: (604) 327-1535

STRATA PLAN EPS2285
PHASE 2

BUILDING B — THIRD FLOOR



All distances are in metres.
The intended plot size of this plan is
580mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



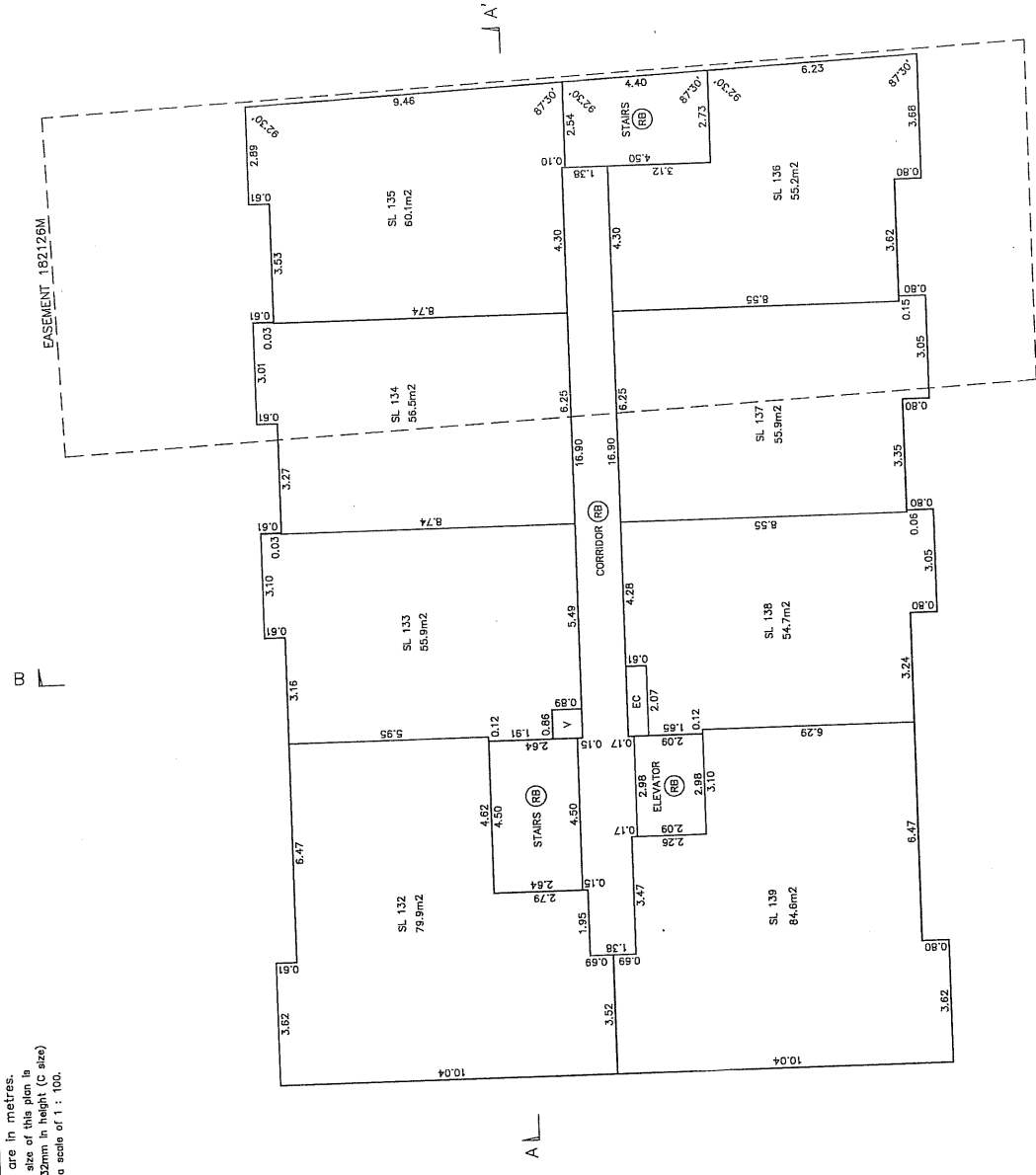
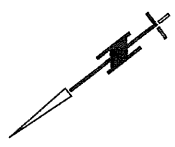
Status: Filed

SHEET 8 OF 11 SHEETS

STRATA PLAN EPS2285
PHASE 2

BUILDING B – FOURTH FLOOR

SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
500mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.

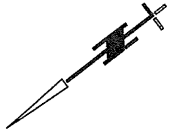


MULAWAN KOESOEWA, BCL
SEPTEMBER 3, 2015
File: VN-260711-PH2

LOUIS NGAN LAND SURVEYING
4932 Vantage Drive
Vancouver, BC V6P 3T6
Tel: (604) 327-1535

BUILDING B – ROOF

SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
550mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



A' A

ROOF CP

MECHANICAL ROOM CP

ELEVATOR MACHINE ROOM (RB)

ELEVATOR SHAFT (RB)

A' A

B' B

PERIMETER OF FLOOR BELOW

Status: Filed

SHEET 10 OF 11 SHEETS

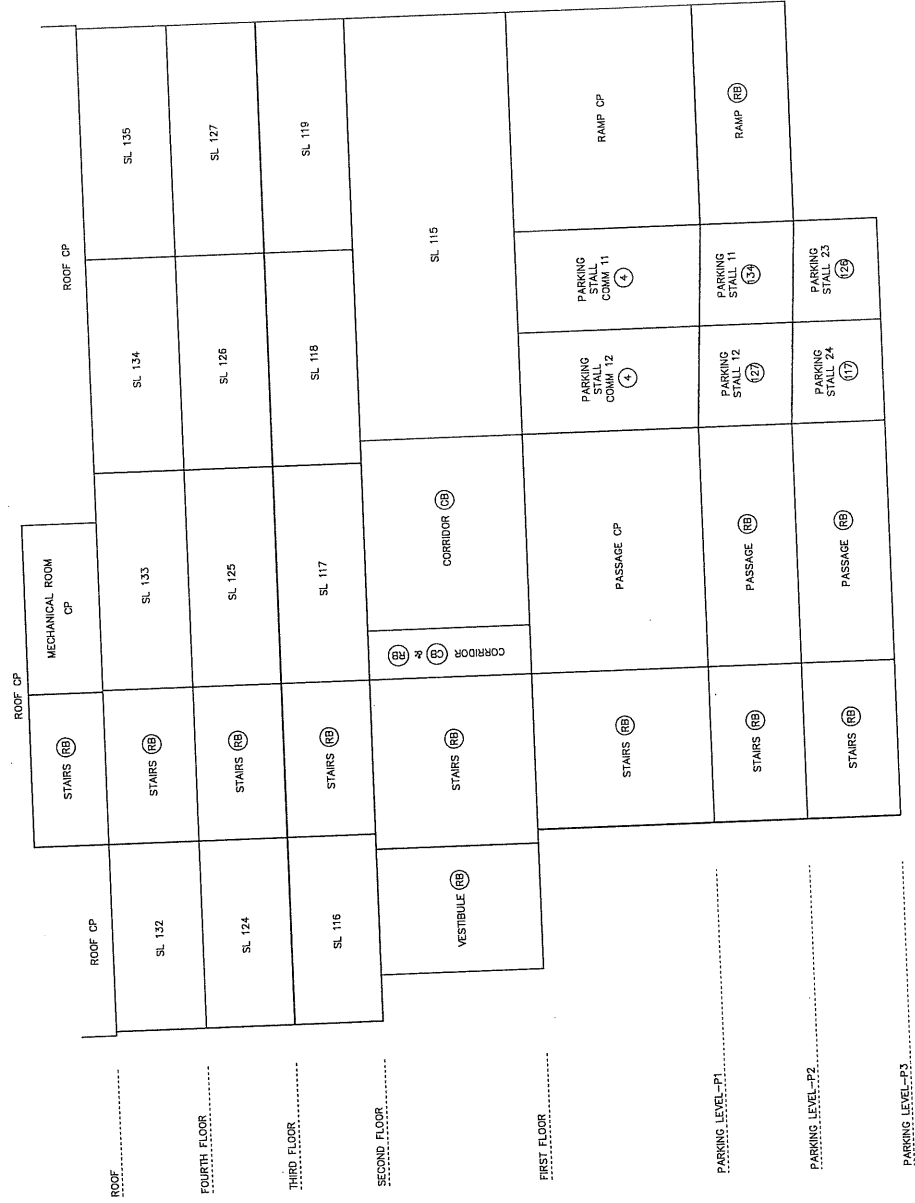
STRATA PLAN EPS285
PHASE 2

BUILDING B - SECTION A-A'

SCALE 1 : 100



All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.



MULAWAN KOESOEWA, BCL
SEPTEMBER 3, 2015
File: YK-2667R-PH2

LOUIS INGAN LAND SURVEYING
4325 Victoria Drive
Vancouver, B.C. V5P 3T6
Tel: (604) 327-1535

BUILDING B – SECTION B-B'

SCALE 1 : 100
2 1 0 3m
All distances are in metres.
The intended plot size of this plan is
560mm in width by 432mm in height (C size)
when plotted at a scale of 1 : 100.

SHEET 11 OF 11 SHEETS

STRATA PLAN EPS2285
PHASE 2



MULIAWAN KOESEMVA, BCLS
SEPTEMBER 3, 2015
File: Y6I-2667TR-PH2

LOUIS NGAN LAND SURVEYING
1000 West 41st Avenue, Suite 316
Vancouver, B.C., V6P 3T6
Tel: (604) 327-1535

NEW WESTMINSTER LAND TITLE OFFICE

Oct-23-2014 16:12:01.004

CA4037336

PAGE 1 OF 6 PAGES

STRATA PROPERTY ACT FILING
PROVINCE OF BRITISH COLUMBIA

- Your electronic signature is a representation by you that:
 - you are a subscriber; and
 - you have incorporated your electronic signature into
 - this electronic application, and
 - the imaged copy of each supporting document attached to this electronic application, and have done so in accordance with Sections 168.3 and 168.41(4) of the *Land Title Act*, RSBC 1996, C.250.
 - Your electronic signature is a declaration by you under Section 168.41 of the *Land Title Act* in respect of each supporting document required in conjunction with this electronic application that:
 - the supporting document is identified in the imaged copy of it attached to this electronic application;
 - the original of the supporting document is in your possession; and
 - the material facts of the supporting document are set out in the imaged copy of it attached to this electronic application.
- Each term used in the representation and declaration set out above is to be given the meaning ascribed to it in Part 10.1 of the *Land Title Act*.

Antony Stefan
Dusevic EZ829K

Digitally signed by Antony Stefan
Dusevic EZ829K
DN: c=CA, cn=Antony Stefan Dusevic
EZ829K, o=Lawyer, ou=Verify ID at
www.judicert.com/LKUP.cfm?id=EZ829K
Date: 2014.10.23 15:19:37 -07'00'

1. CONTACT: (Name, address, phone number)
CHEE DUSEVIC, Barristers and Solicitors
Barristers and Solicitors
#500 - 5945 Kathleen Avenue,
Burnaby BC V5H 4J7
Document Fees: \$0.00

File No.: 13773/ad/jy
Phone : 604-431-8368
Client No.: 011393


Deduct LTSA Fees? Yes ☒

2. IDENTIFICATION OF ATTACHED STRATA PROPERTY ACT FORM OR OTHER SUPPORTING DOCUMENT:
Form-V Schedule of Unit Entitlement LTO Document Reference:

3. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
[PID] [LEGAL DESCRIPTION]
NO PID NMBR EPS2285

Related Plan Number: **EPS2285**

This is Exhibit "L" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025


A Commissioner for taking Affidavits
within British Columbia.

Strata Property Act**FORM V****SCHEDULE OF UNIT ENTITLEMENT***(Sections 245(a), 246, 264)*

Re: Strata Plan EPS2285 [the registration number of the strata plan], being a strata plan of part of Lot A of Lot A, Blocks 1 to 4, DL 37, Group 1, NWD, Plan BCP49183.

P.I.D. 028-681-002

**STRATA PLAN CONSISTING ENTIRELY OF BOTH RESIDENTIAL AND
NONRESIDENTIAL STRATA LOTS**

The unit entitlement for each residential strata lot is one of the following [check appropriate box], as set out in the following table:

- ☒ (a) the habitable area of the lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(a)(i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, Muliawan Koesoema, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: October 10th, 2014 [month, day, year].

Muliawan K

Signature

OR

- ☐ (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(a)(ii) of the *Strata Property Act*.

OR

- ☐ (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(a)(iii) of the *Strata Property Act*.

Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement of Residential Strata Lots**	%* of Total Unit Entitlement of All Strata Lots**
6	8	43.1	43		
7	8	49.5	50		
8	8	75.4	75		
9	8	68.1	68		
10	8	49.7	50		
11	8	71.6	72		
12	8	69.3	69		
13	8	47.8	48		
14	8	45.5	46		
15	8	58.6	59		
16	8	59.9	60		
17	8	59.9	60		
18	8	41.0	41		
19	9	43.1	43		
20	9	49.5	50		
21	9	75.4	75		
22	9	68.1	68		
23	9	49.8	50		
24	9	71.6	72		
25	9	69.3	69		
26	9	47.8	48		
27	9	45.5	46		
28	9	58.6	59		
29	9	59.9	60		
30	9	59.9	60		
31	9	41.0	41		
32	10	43.1	43		
33	10	49.6	50		
34	10	76.0	76		
35	10	67.4	67		
36	10	49.8	50		
37	10	71.6	72		
38	10	69.3	69		
39	10	47.8	48		
40	10	45.5	46		
41	10	47.3	47		
42	10	47.6	48		
43	10	48.8	49		
44	10	37.0	37		
45	11	77.8	78		
46	11	68.1	68		
47	11	49.8	50		
48	11	71.5	72		
49	11	69.3	69		

50	11	47.8	48		
51	11	45.5	46		
52	11	47.3	47		
53	11	49.9	50		
54	12	73.3	73		
55	12	68.1	68		
56	12	49.8	50		
57	12	71.5	72		
58	12	69.3	69		
59	12	47.8	48		
60	12	45.5	46		
61	12	44.1	44		
62	12	65.8	66		
63	13	73.3	73		
64	13	68.1	68		
65	13	49.8	50		
66	13	71.5	72		
67	13	69.3	69		
68	13	47.8	48		
69	13	45.5	46		
70	13	44.1	44		
71	13	65.8	66		
72	14	73.3	73		
73	14	68.1	68		
74	14	49.8	50		
75	14	71.5	72		
76	14	69.3	69		
77	14	47.8	48		
78	14	45.5	46		
79	14	44.1	44		
80	14	65.8	66		
81	15	73.3	73		
82	15	68.1	68		
83	15	49.8	50		
84	15	71.5	72		
85	15	69.3	69		
86	15	47.8	48		
87	15	45.5	46		
88	15	44.1	44		
89	15	65.8	66		
90	16	73.3	73		
91	16	68.1	68		
92	16	49.8	50		
93	16	71.5	72		
94	16	69.3	69		
95	16	47.8	48		
96	16	45.5	46		

97	16	44.1	44		
98	16	65.8	66		
99	17	73.3	73		
100	17	68.1	68		
101	17	49.8	50		
102	17	71.5	72		
103	17	69.3	69		
104	17	47.8	48		
105	17	45.5	46		
106	17	44.1	44		
107	17	65.8	66		
108	18	144.0	144		
109	18	57.0	57		
110	18	74.5	75		
111	18	71.5	72		
Total number of residential strata lots:106		Total unit entitlement of residential strata lots:6276			

- * expression of percentage is for informational purposes only and has no legal effect
 ** not required for a phase of a phased strata plan

The unit entitlement for each **nonresidential** strata lot is one of the following [check appropriate box], as set out in the following table:

- ☒ (a) the total area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(b)(i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, Muliawan Koesoema, a British Columbia land surveyor, certify that the following table reflects the total area of each nonresidential strata lot.

Date: October 10th, 2014 [month, day, year].

Muliawan K

Signature

OR

- ☐ (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(b)(ii) of the *Strata Property Act*.

OR

- ☐ (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(b)(iii) of the *Strata Property Act*.

Strata Lot No.	Sheet No.	Total Area in m ²	Unit Entitlement	%* of Total Unit Entitlement of Nonresidential Strata Lots**	%* of Total Unit Entitlement of All Strata Lots**
1	7	106.5	107		
2	7	55.2	55		
3	7	68.0	68		
4	7	145.1	145		
5	7	119.6	120		
Total number of non-residential strata lots:5		Total unit entitlement of nonresidential strata lots:495			

* expression of percentage is for informational purposes only and has no legal effect
 ** not required for a phase of a phased strata plan

Schedule of Unit Entitlement approved by the Superintendent of Real Estate in accordance with section 246(5) of the *Strata Property Act*.

31/10/2014 - G. S. Grew
 Signature of Superintendent of Real Estate

Date: October 20, 2014 [month, day, year].

WALLY KING HOLDINGS LTD.
 by its authorized signatory:

[Signature]
 Signature of Owner Developer - Daljit Thind

 Signature of Superintendent of Real Estate (if submitted under section 264 of the Act)

NEW WESTMINSTER LAND TITLE OFFICE

Sep-25-2015 15:29:34.003

CA4701897

PAGE 1 OF 4 PAGES

STRATA PROPERTY ACT FILING
PROVINCE OF BRITISH COLUMBIA

- Your electronic signature is a representation by you that:
 - you are a subscriber; and
 - you have incorporated your electronic signature into
 - this electronic application, and
 - the imaged copy of each supporting document attached to this electronic application,and have done so in accordance with Sections 168.3 and 168.41(4) of the *Land Title Act*, RSBC 1996, C.250.
 - Your electronic signature is a declaration by you under Section 168.41 of the *Land Title Act* in respect of each supporting document required in conjunction with this electronic application that:
 - the supporting document is identified in the imaged copy of it attached to this electronic application;
 - the original of the supporting document is in your possession; and
 - the material facts of the supporting document are set out in the imaged copy of it attached to this electronic application.
- Each term used in the representation and declaration set out above is to be given the meaning ascribed to it in Part 10.1 of the *Land Title Act*.

Antony Stefan
Dusevic LJPFJB

Digitally signed by Antony
Stefan Dusevic LJPFJB
Date: 2015.09.25
15:16:17 -07'00'

1. CONTACT: (Name, address, phone number)

CHEE DUSEVIC, Barristers and Solicitors

Barristers and Solicitors

#500 - 5945 Kathleen Avenue,

Burnaby

BC V5H 4J7

File No.: 14155/ad/jy

Phone : 604-431-8368

Client No.: 011393

Deduct LTSA Fees? Yes ☒

Document Fees: \$0.00

2. IDENTIFICATION OF ATTACHED STRATA PROPERTY ACT FORM OR OTHER SUPPORTING DOCUMENT:

Form-V Schedule of Unit Entitlement

LTO Document Reference:

3. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
[PID] [LEGAL DESCRIPTION]

NO PID NMBR EPS2285

Related Plan Number: EPS2285

(Sections 245(a), 246, 264)

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement of Residential Strata Lots**	%* of Total Unit Entitlement of All Strata Lots**
116	6	79.9	80		
117	6	56.2	56		
118	6	56.5	57		
119	6	60.1	60		
120	6	55.2	55		
121	6	55.9	56		
122	6	54.7	55		
123	6	84.6	85		
124	7	79.9	80		
125	7	56.0	56		
126	7	56.5	57		
127	7	60.1	60		
128	7	55.2	55		
129	7	55.9	56		
130	7	54.7	55		
131	7	84.6	85		
132	8	79.9	80		
133	8	55.9	56		
134	8	56.5	57		
135	8	60.1	60		
136	8	55.2	55		
137	8	55.9	56		
138	8	54.7	55		
139	8	84.6	85		
Total number of residential strata lots:24		Total unit entitlement of residential strata lots:1512			

* expression of percentage is for informational purposes only and has no legal effect
 ** not required for a phase of a phased strata plan

The unit entitlement for each **nonresidential** strata lot is one of the following [check appropriate box], as set out in the following table:

- ☒ (a) the total area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246(3)(b)(i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, Muliawan Koesoema, a British Columbia land surveyor, certify that the following table reflects the total area of each nonresidential strata lot.

Date: September 3rd 2015 [month, day, year]

Muliawan K
Signature

OR

- ☐ (b) a whole number that is the same for all of the residential strata lots as set out in section 246(3)(b)(ii) of the *Strata Property Act*.

OR

- ☐ (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246(3)(b)(iii) of the *Strata Property Act*.

Strata Lot No.	Sheet No.	Total Area in m ²	Unit Entitlement	%* of Total Unit Entitlement of Nonresidential Strata Lots**	%* of Total Unit Entitlement of All Strata Lots**
112	5	54.1	54		
113	5	61.5	62		
114	5	65.7	66		
115	5	73.6	74		
Total number of non-residential strata lots: 4		Total unit entitlement of nonresidential strata lots: 256			

- * expression of percentage is for informational purposes only and has no legal effect
 ** not required for a phase of a phased strata plan

Schedule of Unit Entitlement approved by the Superintendent of Real Estate in accordance with section 246(5) of the *Strata Property Act*.

f. / Adia Gahroo
Signature of Superintendent of Real Estate

Date: Sept. 21, 2015 [month, day, year]

WALLY KING HOLDINGS LTD
by its authorized signatory:

Daljit Thind
Signature of Owner/Developer
Daljit Thind

Signature of Superintendent of Real Estate (if submitted under section 264 of the Act)



City of Vancouver *Zoning and Development By-law*

Planning, Urban Design and Sustainability Department

453 West 12th Avenue, Vancouver, BC V5Y 1V4 | tel: 3-1-1, outside Vancouver 604.873.7000 | fax: 604.873.7100
website: vancouver.ca | email: planning@vancouver.ca | app: VanConnect

CD-1 (529)

2667 - 2703 Kingsway

By-law No. 10472

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective April 17, 2012

(Amended up to and including By-law No. 12084, dated May 1, 2018)

This is Exhibit "M" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits within British Columbia.

1 Zoning District Plan amendment

This By-law amends the Zoning District Plan attached as Schedule D to By-law No. 3575, and amends or substitutes the boundaries and districts shown on it, according to the amendments, substitutions, explanatory legends, notations, and references shown on the plan marginally numbered Z-635 (b) attached as Schedule A to this By-law, and incorporates Schedule A into Schedule D to By-law No. 3575.

2 Uses

2.1 The description of the area shown within the heavy black outline on Schedule A is CD 1 (529).

2.2 Subject to Council approval of the form of development, to all conditions, guidelines and policies adopted by Council, and to the conditions set out in this By-law or in a development permit, the only uses permitted within CD-1 (529) and the only uses for which the Director of Planning or Development Permit Board will issue development permits are:

- (a) Cultural and Recreational Uses, limited to Fitness Centre, Library, Museum or Archives, Arcade, Artist Studio, Billiard Hall, Club, or Community Centre or Neighbourhood House;
- (b) Dwelling Uses, limited to Dwelling Uses and Principal Dwelling Unit combined with a Secondary Dwelling Unit, in conjunction with any use listed in this section 2.2, except that no portion of the first storey of a building to a depth of 10.7 m from the front wall of the building and extending across its full width, may be used for residential purposes, except for entrances to the residential portion;
- (c) Institutional Uses, limited to Child Day Care Facility, Church, Hospital, Public Authority Use, School - Elementary or Secondary, School - University or College, or Social Service Centre;
- (d) Manufacturing Uses, limited to Jewellery Manufacturing and Printing or Publishing;
- (e) Office Uses;
- (f) Retail Uses, limited to Adult Retail Store, Furniture or Appliance Store, Liquor Store, Secondhand Store, Grocery or Drug Store, Grocery Store with Liquor Store, Retail Store, Small-scale Pharmacy; [12084; 18 05 01]
- (g) Service Uses, limited to Animal Clinic, Auction Hall, Barbershop or Beauty Salon, Beauty and Wellness Centre, Cabaret, Catering Establishment, Laundromat or Dry Cleaning Establishment, Neighbourhood Public House, Photofinishing or Photography Laboratory, Print Shop, Repair Shop - Class A, Repair Shop - Class B, Restaurant - Class 1, Restaurant - Class 2, Restaurant-Drive-in, School - Arts or Self Improvement, School - Business, School - Vocational or Trade, Wedding Chapel;
- (h) Utility and Communication Uses, limited to Public Utility or Radiocommunication Station; and
- (i) Accessory Uses customarily ancillary to the uses listed in this section 2.2.

3 Density

3.1 Computation of floor area must assume that the site consists of 2 521.3 m², being the site size at the time of the application for the rezoning evidenced by this By-law, and before any dedications.

3.2 The floor space ratio for all uses combined must not exceed 3.8, except that:

- (a) floor space ratio must be a maximum of 3.45 for dwelling uses in conjunction with other uses, in storeys located above the front street level storey; and
- (b) floor space ratio must be a minimum of 0.35 for non-residential uses, in the front street level storey or below.
[10536; 12 07 10]

Note: Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 10472 or provides an explanatory note.

- 3.3 Computation of floor space ratio must include all floors of all buildings, having a minimum ceiling height of 1.2 m, including earthen floors and accessory buildings, both above and below ground level, measured to the extreme outer limits of the building.
- 3.4 Computation of floor space ratio must exclude:
- (a) open residential balconies, sun decks, porches and any other appurtenances, which in the opinion of the Director of Planning, are similar to the foregoing, except that the total area of all exclusions must not exceed 8% of the residential floor area being provided;
 - (b) patios and roof gardens, if the Director of Planning first approves the design of sunroofs and walls;
 - (c) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council, and approves the design of any balcony enclosure, except that:
 - (i) the total area of all open and enclosed balconies must not exceed 8% of residential floor area, and
 - (ii) no more than 50% of excluded balcony floor area may be enclosed;
 - (d) the floors or portions of floors used for off-street parking and loading, the taking on or discharging of passengers, bicycle storage, heating and mechanical equipment, or uses which, in the opinion of the Director of Planning, are similar to the foregoing, which are:
 - (i) at or below the base surface except that the exclusion for a parking space must not exceed 7.3 m in length, or
 - (ii) in the case of off-street parking, above the base surface in an accessory building in the rear yard, except that the exclusion for a parking space must not exceed 7.3 m in length;
 - (e) amenity areas, including child day care facilities, recreational facilities and meeting rooms accessory to a residential use, to a maximum total of 10% of total permitted floor area, provided that for child day care facilities, the Director of Planning, on the advice of the Director of Social Planning, is satisfied that there is a need for a day care facility in the immediate neighbourhood;
 - (f) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² for a dwelling unit, there is to be no exclusion for any of the residential storage space above base surface for that unit;
 - (g) where a Building Envelope Professional, as defined in the Building By-law, has recommended exterior walls greater than 152 mm in thickness, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause is not to apply to walls in existence before March 14, 2000; and
 - (h) with respect to exterior:
 - (i) wood frame construction walls greater than 152 mm thick that accommodate RSI 3.85 (R-22) insulation, or
 - (ii) walls other than wood frame construction greater than 152 mm thick that meet the standard RSI 2.67 (R-15),

the area of such walls that exceeds 152 mm to a maximum exclusion of 51 mm of thickness for wood frame construction walls, and 127 mm of thickness for other walls, except that this clause is not to apply to walls in existence before January 20, 2009. A registered professional must verify that any wall referred to in subsection (ii) of this section meets the standards set out therein.

- 3.5 The use of floor space excluded under section 3.4, must not include any purpose other than that which justified the exclusion.

4 Building height

The building height, measured above base surface, must not exceed 36 m.

5 Horizontal angle of daylight

- 5.1 Each habitable room must have at least one window on an exterior wall of a building.
- 5.2 The location of each such exterior window must allow a plane or planes extending from the window and formed by an angle of 50 degrees, or two angles with a sum of 70 degrees, to encounter no obstruction over a distance of 24.0 m.
- 5.3 Measurement of the plane or planes referred to in section 5.2, must be horizontally from the centre of the bottom of each window.
- 5.4 If:
- (a) the Director of Planning or Development Permit Board, first considers all the applicable policies and guidelines adopted by Council; and
 - (b) the minimum distance of unobstructed view is not less than 3.7 m;
- the Director of Planning or Development Permit Board may relax the horizontal angle of daylight requirement.
- 5.5 An obstruction referred to in section 5.2 means:
- (a) any part of the same building including permitted projections; or
 - (b) the largest building permitted under the zoning on any site adjoining CD-1 (529).
- 5.6 A habitable room referred to in section 5.1 does not include:
- (a) a bathroom; or
 - (b) a kitchen whose floor area is the lesser of:
 - (i) 10% or less of the total floor area of the dwelling unit, or
 - (ii) 9.3 m².

6 Parking, loading, and bicycle spaces

Any development or use of the site requires the provision and maintenance of off-street parking spaces, loading spaces, and bicycle spaces, in accordance with the Parking By-law, except that the minimum required parking must be 10% less than the minimum parking requirements in the Parking By-law on November 2, 2010.

7 Acoustics

All development permit applications require evidence in the form of a report and recommendations, prepared by a person trained in acoustics and current techniques of noise measurement, demonstrating that the noise levels in those portions of dwelling units listed below, do not exceed the noise level set opposite such portions. For the purposes of this section, the noise level is the A-weighted 24-hour equivalent (Leq) sound level and is defined simply as noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
Bedrooms	35
Living, dining, recreation rooms	40
Kitchen, bathrooms, hallways	45

8 Severability

A decision by a court that any part of this By-law is illegal, void, or unenforceable severs that part from this By-law, and is not to affect the balance of this By-law.

9 Force and effect

This By-law is to come into force and take effect on the date of its enactment.

ENACTED by Council this 17th day of April, 2012.

Schedule A



This is Exhibit "N" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025



A Commissioner for taking Affidavits
within British Columbia.

STRATA PLAN OF LOT 1 BLOCK 158
DISTRICT LOT 37 GROUP 1 NEW
WESTMINSTER DISTRICT PLAN LMP39111
B.C.G.S. 92G.025

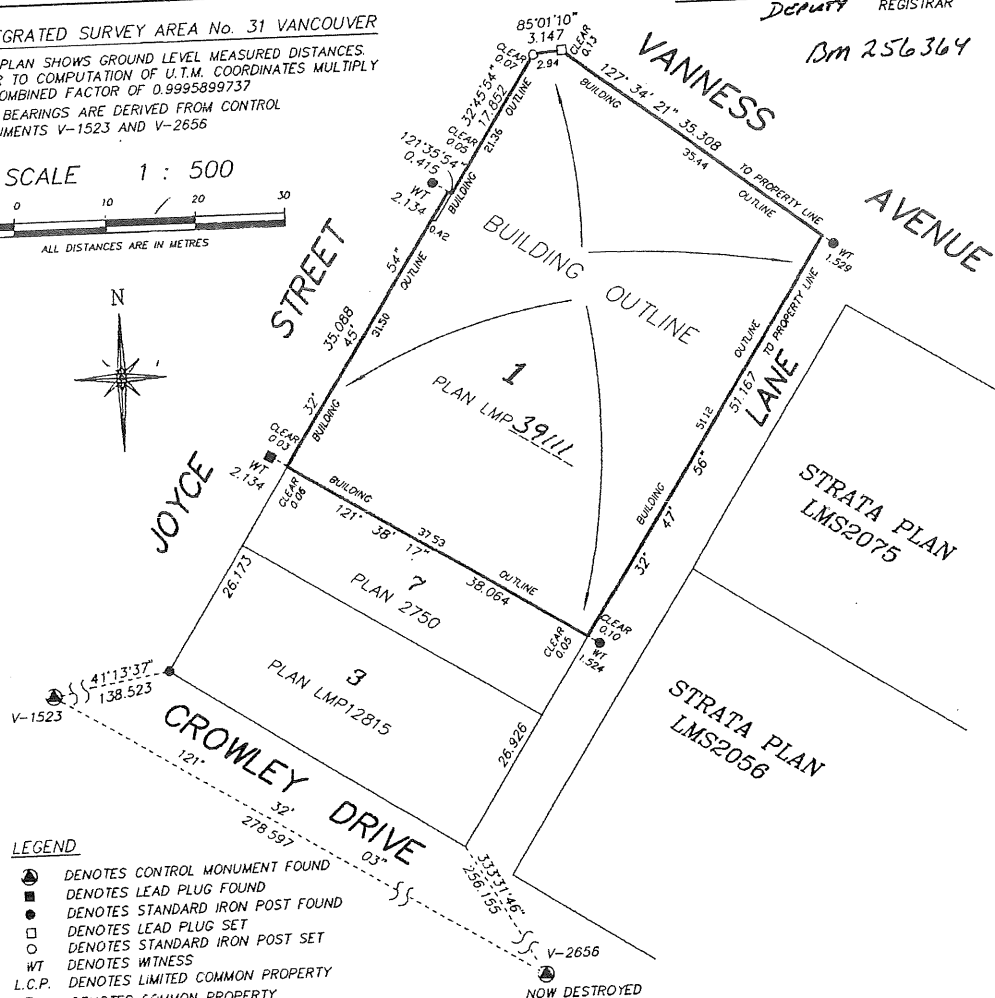
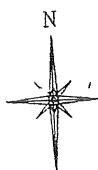
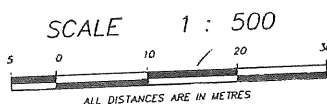
STRATA PLAN LMS 3463

DEPOSITED AND REGISTERED IN THE LAND TITLE
OFFICE AT NEW WESTMINSTER, B.C.
THIS 11 DAY OF SEPT, 1998

CITY OF VANCOUVER

INTEGRATED SURVEY AREA No. 31 VANCOUVER

THIS PLAN SHOWS GROUND LEVEL MEASURED DISTANCES.
PRIOR TO COMPUTATION OF U.T.M. COORDINATES MULTIPLY
BY COMBINED FACTOR OF 0.9995899737
GRID BEARINGS ARE DERIVED FROM CONTROL
MONUMENTS V-1523 AND V-2656



LEGEND

- DENOTES CONTROL MONUMENT FOUND
- DENOTES LEAD PLUG FOUND
- DENOTES STANDARD IRON POST FOUND
- DENOTES LEAD PLUG SET
- DENOTES STANDARD IRON POST SET
- DENOTES WITNESS
- WT DENOTES LIMITED COMMON PROPERTY
- L.C.P. DENOTES COMMON PROPERTY
- DENOTES STRATA LOT
- SL DENOTES AREA
- A DENOTES SQUARE METRES
- m² DENOTES SQUARE FEET
- sqft DENOTES PATIO, LCP APPURTENANT TO ADJACENT STRATA LOT
- (P) DENOTES BALCONY, LCP APPURTENANT TO ADJACENT STRATA LOT
- (B) DENOTES ENCLOSED BALCONY
- (PE) DENOTES ENCLOSED PATIO
- (T) DENOTES TERRACE, LCP APPURTENANT TO ADJACENT STRATA LOT
- ε DENOTES CENTRELINE OF WALLS
- ① DENOTES STRATA LOT SIDE OF WALL
- BL DENOTES BUILDING LINE
- ② DENOTES GLASS LINE
- ③ DENOTES NO WALL
- O/A DENOTES OVER ALL
- LCP30 DENOTES LIMITED COMMON PROPERTY (TYPICAL) FOR EXCLUSIVE USE OF STRATA LOT 30
- STRATA LOT AREAS INCLUDE AREAS OF ENCLOSED BALCONIES AND ENCLOSED PATIOS.

I, DIETER SOUKUP, OF SURREY, A BRITISH COLUMBIA LAND SURVEYOR, HEREBY CERTIFY THAT THE BUILDING SHOWN IN THIS STRATA PLAN HAS NOT AS OF THE 21st DAY OF AUGUST, 1998 BEEN PREVIOUSLY OCCUPIED. DATED THIS 21st DAY OF AUGUST, 1998

B.C.L.S.

THE ADDRESS FOR THE SERVICE OF DOCUMENTS ON THE STRATA CORPORATION IS:
THE OWNERS, STRATA PLAN LMS 3463
9th FLOOR 1190 HORNBY STREET,
VANCOUVER, B.C. V6Z-2K5
CIVIC ADDRESS OF PROPERTY:
3438 VANNES AVENUE,
VANCOUVER, B.C.

STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS.
FOR COMMERCIAL STRATA LOTS SEE LEGEND FOR
INDIVIDUAL BOUNDARY DESIGNATION
THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

I, DIETER SOUKUP, OF SURREY, A BRITISH COLUMBIA LAND SURVEYOR, HEREBY CERTIFY THAT THE BUILDING ERECTED ON THE PARCEL DESCRIBED ABOVE IS WHOLLY WITHIN THE EXTERNAL BOUNDARIES OF THAT PARCEL. DATED THIS 21st DAY OF AUGUST, 1998

B.C.L.S.

SOUKUP LAND SURVEYING INC.
201 - 8484 162nd STREET
SURREY, B.C. V4N 1B4
TEL 597 6161 FAX 597 0259
FILE: \2608\LOT1-51

STRATA PLAN LMS 3463CONDOMINIUM ACT

LOT No.	SHEET No.	FORM 1	FORM 2	FORM 3
		SCHEDULE OF UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS
		UNIT ENTITLEMENT	INTEREST UPON DESTRUCTION	NUMBER OF VOTES
1	16	562	590	1
2	16	571	590	1
3	16	913	1045	1
4	16	539	581	1
5	16	728	852	1
6	16	953	1176	1
7	16	562	581	1
8	16	571	581	1
9	16	600	607	1
10	16	594	594	1
11	16	510	559	1
12	16	511	559	1
13	16	557	638	1
14	16	412	432	1
15	16	866	918	1
16	15	562	577	1
17	15	573	577	1
18	15	546	577	1
19	15	365	349	1
20	15	574	559	1
21	15	533	550	1
22	15	507	550	1
23	15	731	773	1
24	15	399	428	1
25	15	866	909	1
26	15	562	568	1
27	15	573	568	1
28	15	546	568	1
29	15	365	345	1
30	15	574	550	1
31	15	533	542	1
32	15	507	546	1
33	15	731	765	1
34	15	399	424	1
35	15	866	891	1
36	14	562	564	1
37	14	573	564	1
38	14	546	564	1
39	14	365	341	1
40	14	574	546	1
41	14	533	537	1
42	14	507	537	1
43	14	731	743	1
44	14	399	419	1
45	14	866	883	1
46	14	562	555	1
47	14	573	555	1
48	14	546	555	1
49	14	365	336	1
50	14	574	537	1
51	14	533	529	1
52	14	507	533	1
53	14	731	734	1
54	14	399	415	1
55	14	866	874	1
56	13	562	550	1
57	13	573	550	1
58	13	546	550	1
59	13	365	332	1
60	13	574	533	1
61	13	533	524	1
62	13	507	524	1
63	13	731	725	1
64	13	399	411	1
65	13	866	865	1
66	13	562	542	1
67	13	573	542	1
68	13	546	542	1
69	13	365	327	1
70	13	574	524	1
71	13	533	515	1
72	13	507	520	1
73	13	731	717	1
74	13	399	406	1
75	13	866	857	1
76	12	562	537	1
77	12	573	537	1
78	12	546	537	1
79	12	365	323	1
80	12	574	520	1
81	12	533	511	1
82	12	507	511	1

DATED THIS 10th DAY OF
AUGUST, 1998FILED 2608\LOT1-S1 B.C.L.S.

STRATA PLAN LMS 3463CONDOMINIUM ACT

LOT No.	SHEET No.	FORM 1	FORM 2	FORM 3
		SCHEDULE OF UNIT ENTITLEMENT UNIT ENTITLEMENT	SCHEDULE OF INTEREST UPON DESTRUCTION INTEREST UPON DESTRUCTION	SCHEDULE OF VOTING RIGHTS NUMBER OF VOTES
83	12	731	708	1
84	12	399	402	1
85	12	866	848	1
86	12	562	529	1
87	12	573	529	1
88	12	546	529	1
89	12	365	319	1
90	12	574	511	1
91	12	533	502	1
92	12	507	507	1
93	12	731	699	1
94	12	399	397	1
95	12	866	839	1
96	11	562	524	1
97	11	573	524	1
98	11	546	520	1
99	11	365	314	1
100	11	574	507	1
101	11	533	498	1
102	11	731	690	1
103	11	399	393	1
104	11	866	830	1
105	11	576	515	1
106	11	570	520	1
107	11	550	511	1
108	11	365	314	1
109	11	600	507	1
110	10	576	511	1
111	10	570	498	1
112	10	550	310	1
113	10	365	498	1
114	10	600	507	1
115	10	576	502	1
116	10	570	489	1
117	10	550	310	1
118	10	365	494	1
119	10	600	502	1
120	9	576	494	1
121	9	570	481	1
122	9	550	306	1
123	9	365	489	1
124	9	600	656	1
125	9	812	306	1
126	9	366	481	1
127	9	574	1065	2.3
128	21	1258	1054	1.3
129	21	728	574	1.5
130	21	819	563	1.1
131	21	597	914	2.0
132	21	1099	1565	2.4
133	20	1289	663	1.8
134	20	946	1563	3.7
135	20	2026	2027	3.3
136	20	1809	2028	4.5
137	20	2408	1730	3.4
138	19	1833	1437	3.1
139	19	1668	1668	3.3
140	19	1790	1998	4.1
141	19	2231	2076	4.1
142	19	2245	1544	2.7
143	18	1477	845	1.5
144	18	851	1202	2.2
145	18	1211	1202	2.2
146	18	1210	1650	2.7
147	18	1488	2029	3.8
148	18	2065	100000	184
AGGREGATE		103279		

DATED THIS 10th DAY OF
AUGUST, 1998
FILE 2648 LOT1-S1 B.C.L.S.

Plan #: LMS3463 App #: N/A Crt #:

RCVD: 1998-09-11 RQST: 2025-08-27 14.10.33

STRATA PLAN LMS 3463STATUTORY DECLARATION

I / WE THE UNDERSIGNED DO SOLEMNLY DECLARE THAT
 [1] I / WE THE UNDERSIGNED AM / ARE THE OWNER - DEVELOPER OR (IN THE ALTERNATE)
 THE DULY AUTHORIZED AGENT OF THE OWNER - DEVELOPER.
 [2] THE STRATA PLAN IS FOR RESIDENTIAL AND COMMERCIAL USE.
 I / WE MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND
 KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT VancouverIN THE PROVINCE OF BRITISH COLUMBIA
THIS 15th DAY OF August, 1998

G. Marshall
 COMMISSIONER FOR TAKING AFFIDAVITS
 WITHIN THE PROVINCE OF BRITISH COLUMBIA

David R. Podmore
 NAME: DAVID R. PODMORE
 PRESIDENT & CHIEF EXECUTIVE OFFICER
GAVIN MARSHALL
 Barrister & Solicitor
 1300 - 777 DUNSMUIR STREET
 VANCOUVER, B.C. V7Y 1K2
 (604) 643-5955

Gavin Marshall
 NAME: GAVIN MARSHALL
 Barrister & Solicitor
 1300 - 777 Dunsmuir Street
 Vancouver, B.C. V7Y 1K2
 (604) 643-5955

ACCEPTED AS TO FORMS 1, 2 & 3
DATED THIS 8th DAY OF SEPT., 1998

G. Marshall
 FOR SUPERINTENDENT OF REAL ESTATE

OWNER:

377417 BRITISH COLUMBIA LTD.
 (INC No. 377417) BY ITS AUTHORIZED
 SIGNATORIES:

David R. Podmore
 NAME: DAVID R. PODMORE
 PRESIDENT & CHIEF EXECUTIVE OFFICER

Lionel T. Wazny
 NAME: LIONEL T. WAZNY
 SECRETARY

WITNESS:

Janette O'Keeffe
 Name: JANETTE O'KEEFE
 414 FILL - 1190 HORNBY ST. VAN. BC
 ADDRESS OF WITNESS
DEVELOPMENT MANAGER
 OCCUPATION OF WITNESS

MORTGAGEE:

BANK OF AMERICA CANADA BY ITS
 AUTHORIZED SIGNATORY

Daniel M.R. Stewart
 Name: DANIEL M.R. STEWART
 VICE PRESIDENT
 BANK OF AMERICA CANADA

Name: _____

WITNESS:

Helen Simpson
 Name: Helen Simpson
 #574-1055 Dunsmuir St. Van. BC. V7Y 1L3
 ADDRESS OF WITNESS
Loan Administration Officer
 OCCUPATION OF WITNESS

OPTION TO PURCHASE

CITY OF VANCOUVER
 535241 BRITISH COLUMBIA LTD. (INC No. 535241)
 BY ITS AUTHORIZED SIGNATORIES:

Allan T. Gernes
 Name: ALLAN T. GERNES
 VICE PRESIDENT

Lionel T. Wazny
 Name: LIONEL T. WAZNY
 SECRETARY

WITNESS:

Janette O'Keeffe
 Name: JANETTE O'KEEFE
 414 FILL - 1190 HORNBY ST. VAN. BC
 ADDRESS OF WITNESS
DEVELOPMENT MANAGER
 OCCUPATION OF WITNESS

DATED THIS 10th DAY OF
AUGUST, 1998

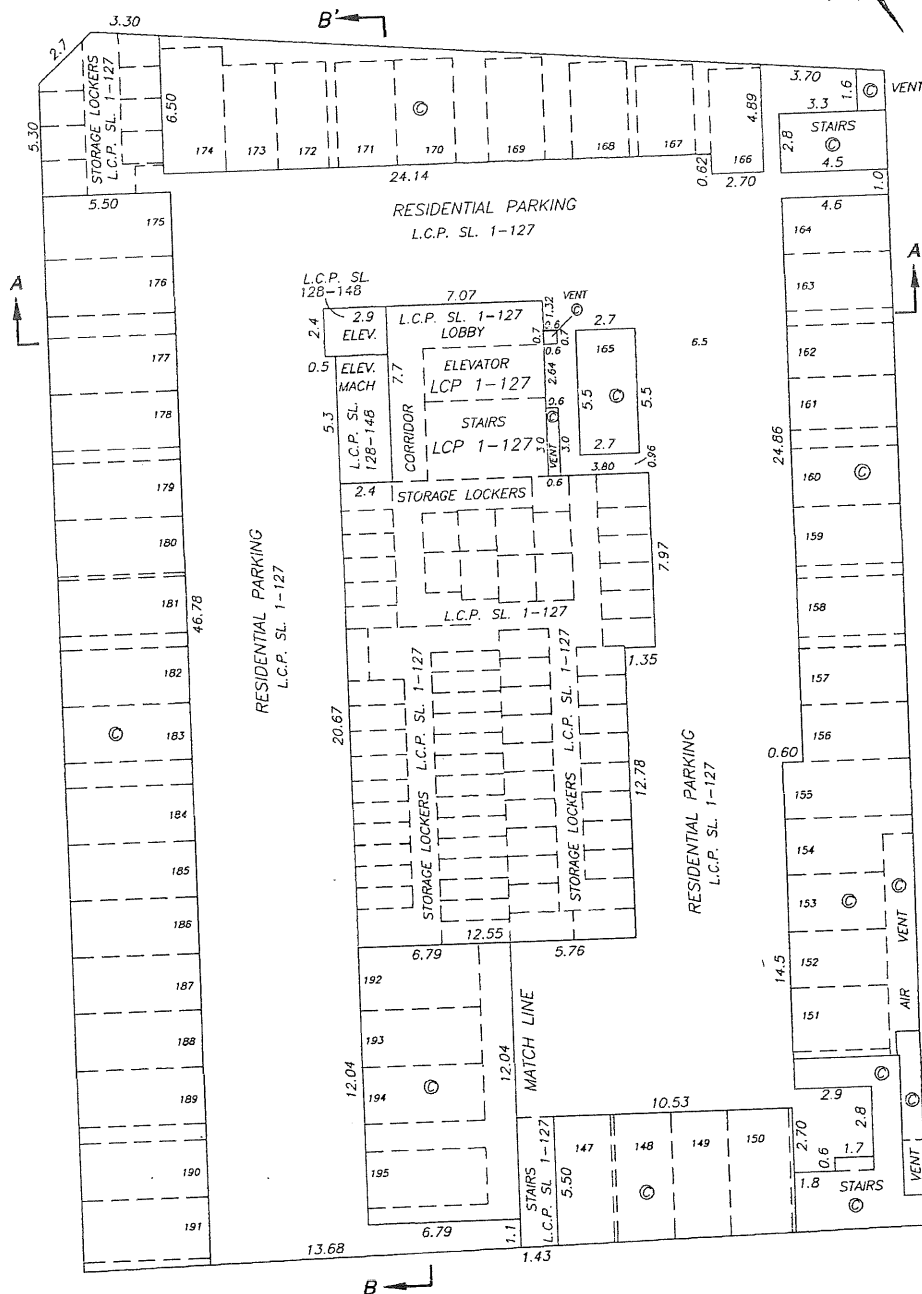
77 B.C.L.S.
 FILE 2668/LOT1-S1

SHEET 5 OF 25 SHEETS

FLOOR PLANS

STRATA PLAN LMS3463

SCALE 1 : 200



P4 LEVEL

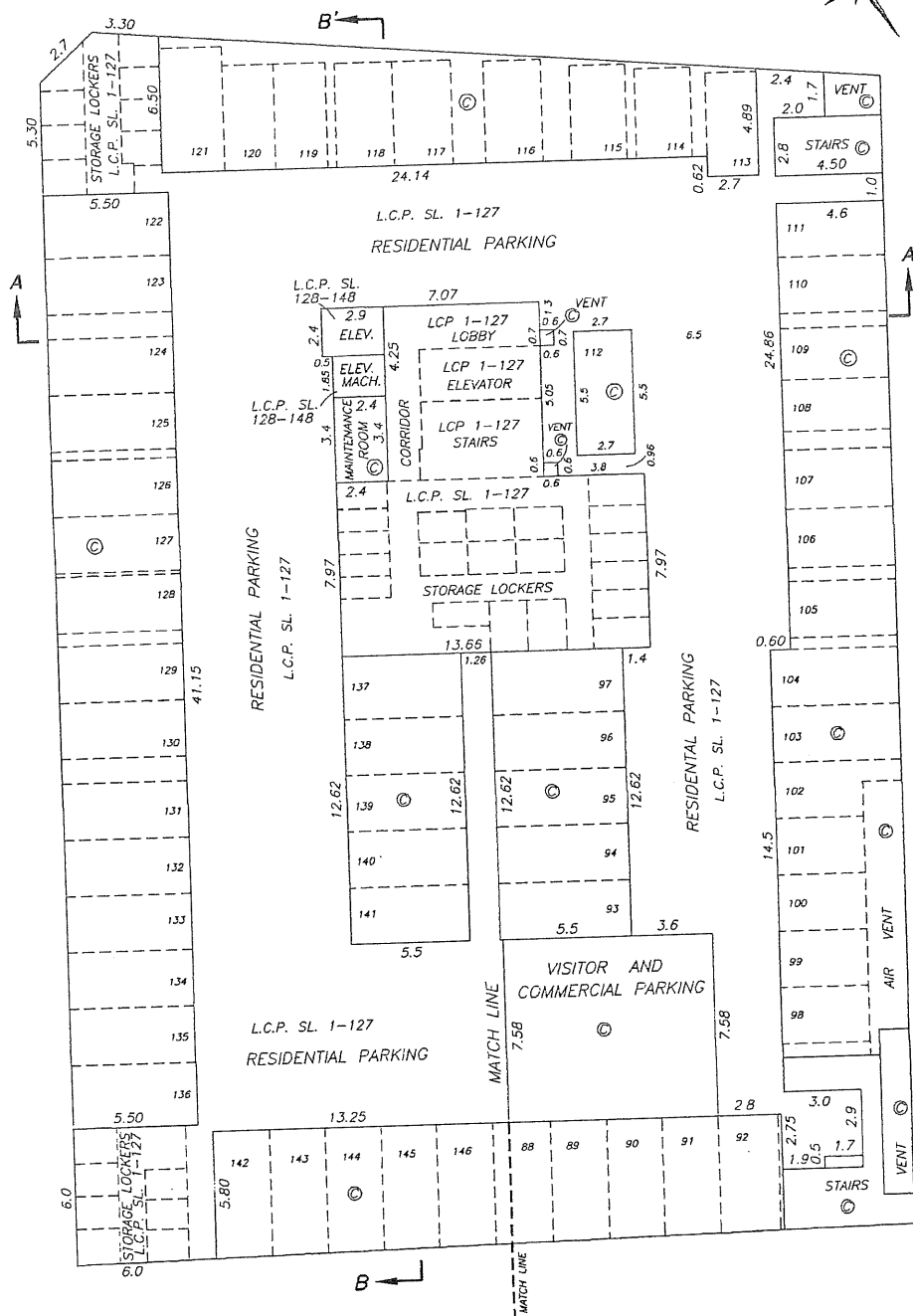
195 DENOTES PARKING STALL (TYPICAL)

DATED THIS 10th DAY OF AUGUST, 1998

B.C.L.S.
FILE: \2608\p4

STRATA PLAN LMS3463

ALL DISTANCES ARE IN METRES



142 DENOTES PARKING STALL (TYPICAL)

P3 LEVEL

DATED THIS 10th DAY OF
AUGUST, 1998

15 B.C.L.S.
FILE: \2608\P3

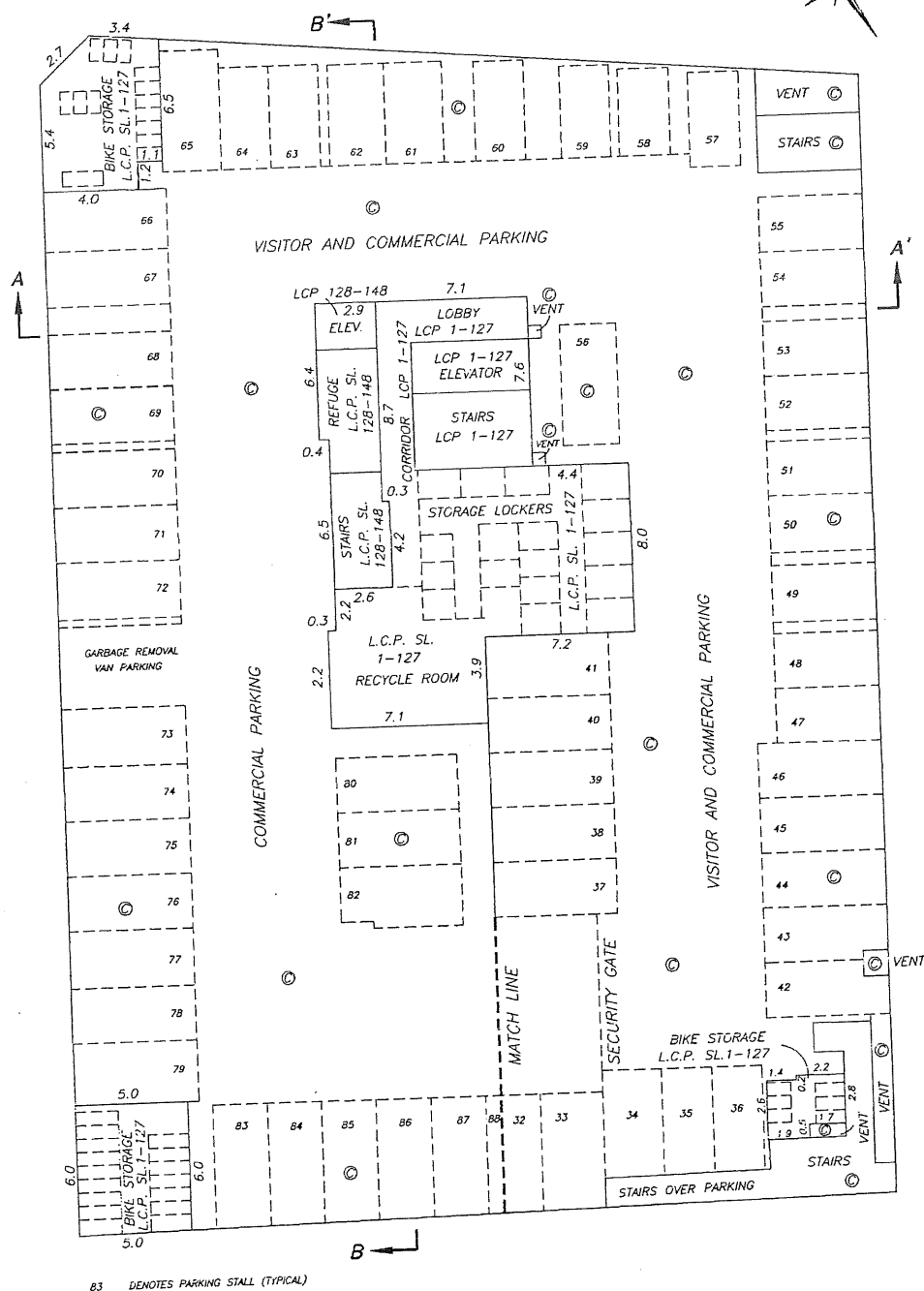
FLOOR PLANS

STRATA PLAN LMS3463

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



P2 LEVEL

DATED THIS 10th DAY OF
AUGUST, 1998

14 B.C.L.S.
File: \2608\ P2

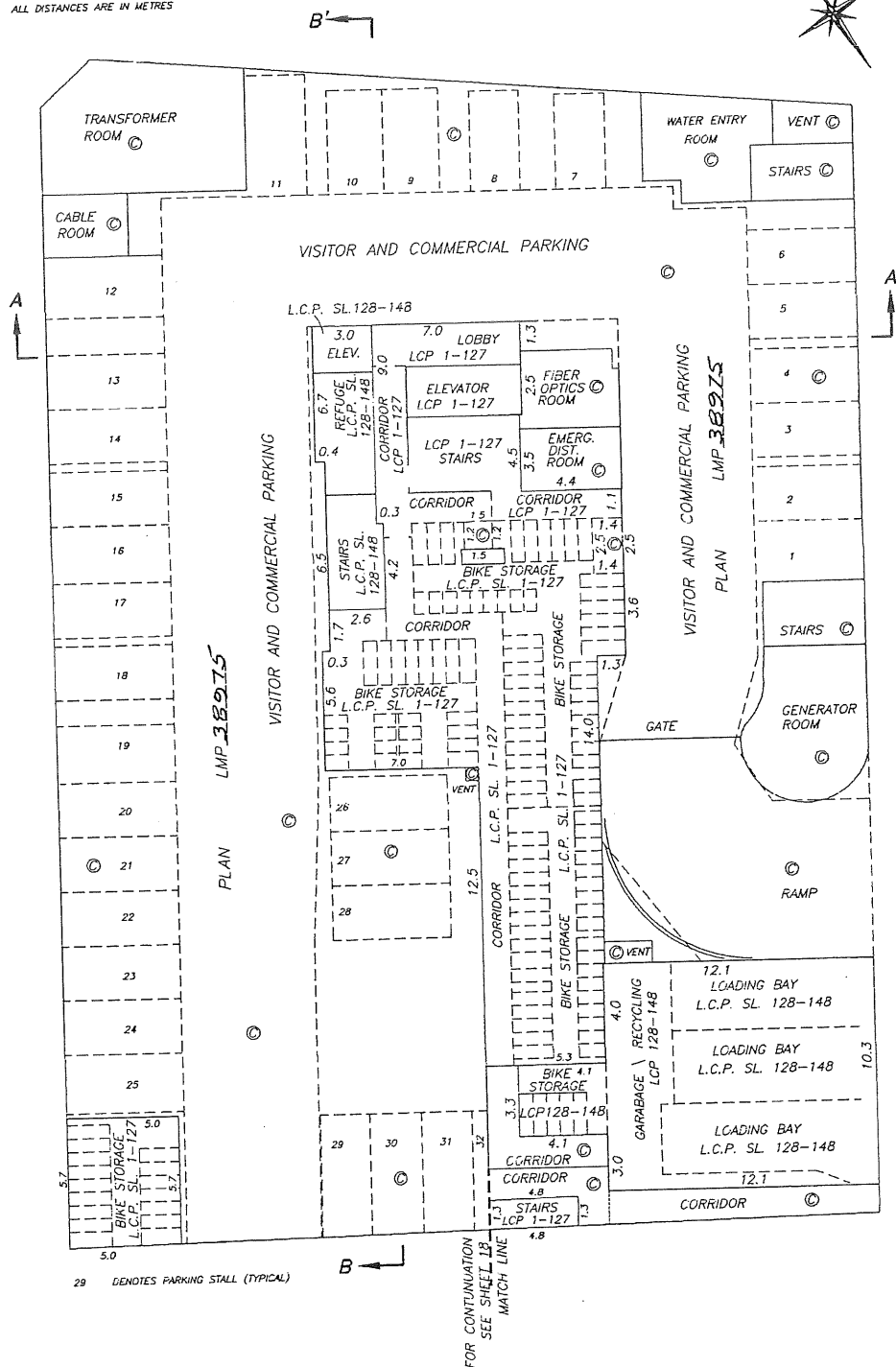
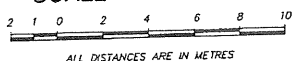
Plan #: LMS3463 App #: N/A Ctrl #:

RCVD: 1998-09-11 RQST: 2025-08-27 14.10.33

FLOOR PLANS

STRATA PLAN LMS3463

SCALE 1 : 200



DATED THIS 10th DAY OF
AUGUST, 1938


FILE: 2608/P1 B.C.L.S.

Page 8 of 25

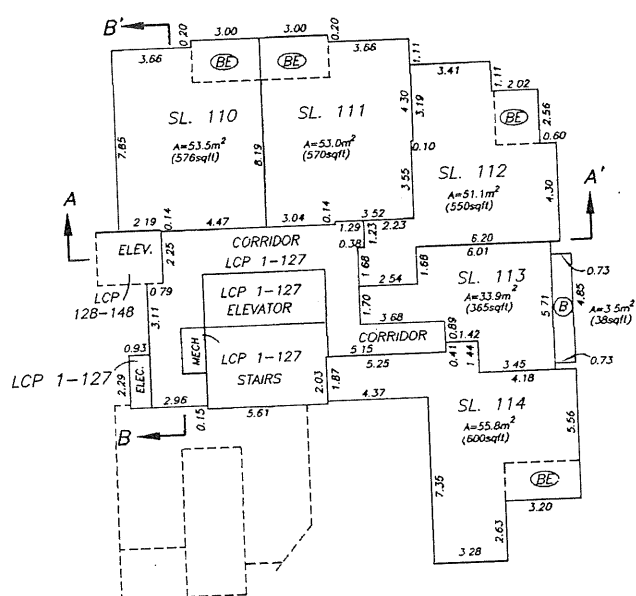
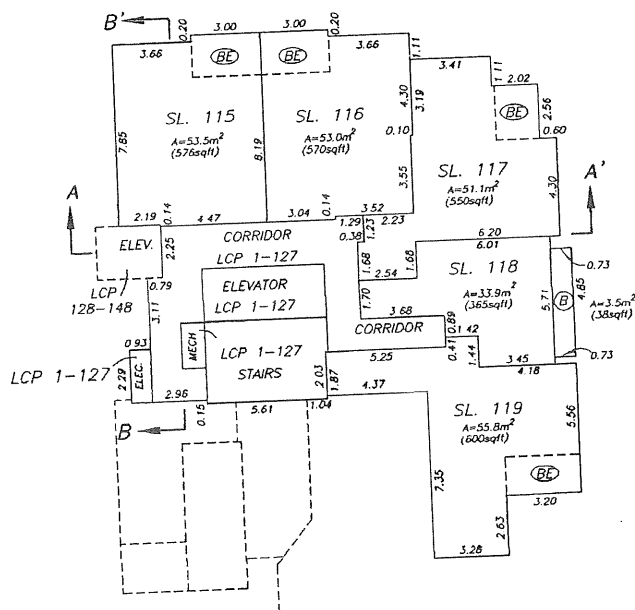
FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200



ALL DISTANCES ARE IN METRES



STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL
RESIDENTIAL STRATA LOTS

DATED THIS 10th DAY OF
AUGUST, 1998

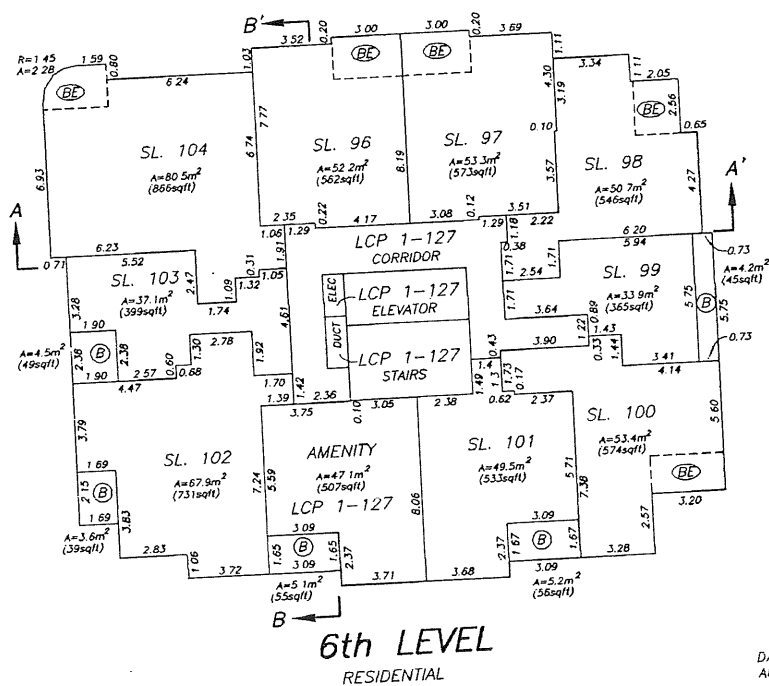
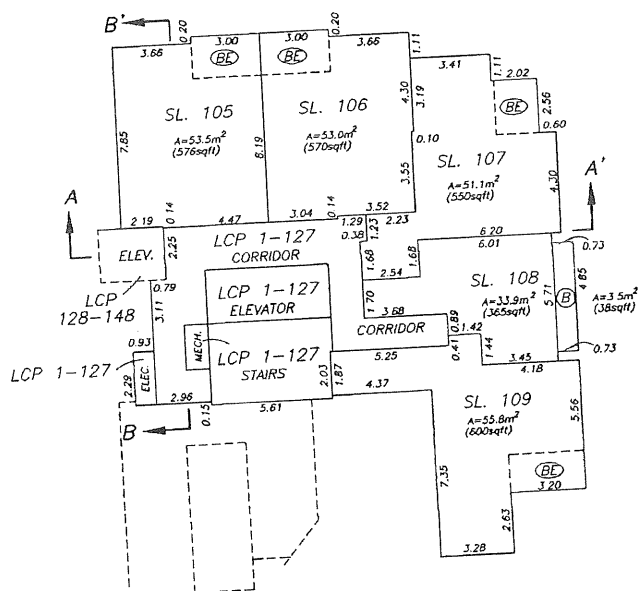
[Signature] B.C.L.S.
FILE: \2608\2-5TH

FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200

ALL DISTANCES ARE IN METRES



STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

DATED THIS 10th DAY OF
AUGUST, 1998

FILE: 2608\6-14TH B.C.L.S.

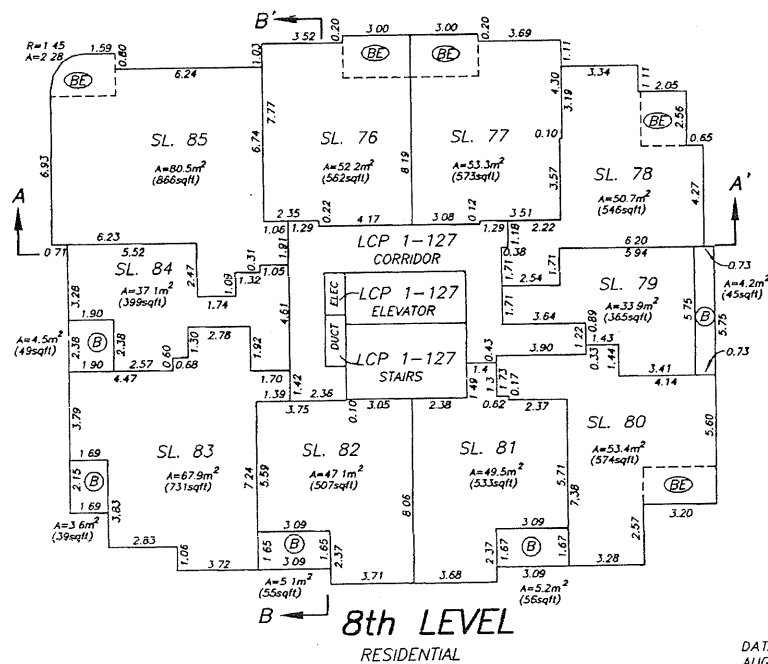
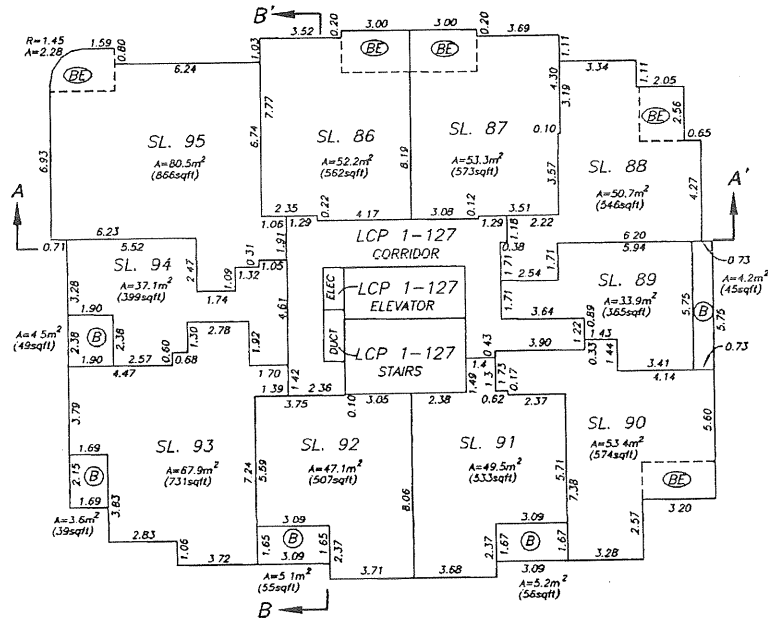
FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200

2 1 0 2 4 6 8 10

ALL DISTANCES ARE IN METRES



STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

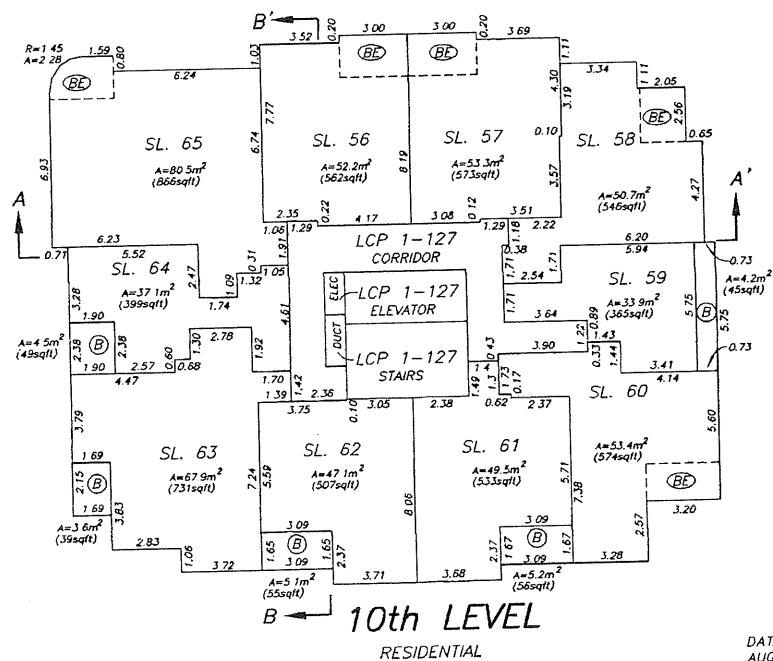
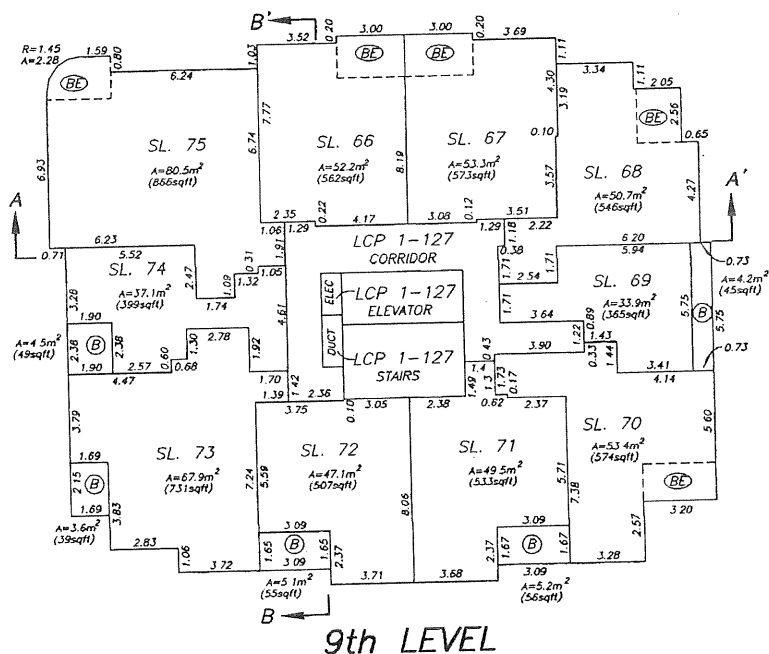
DATED THIS 10th DAY OF
AUGUST, 1998

B.C.L.S.
FILE: \2608\6-14TH

FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200



STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

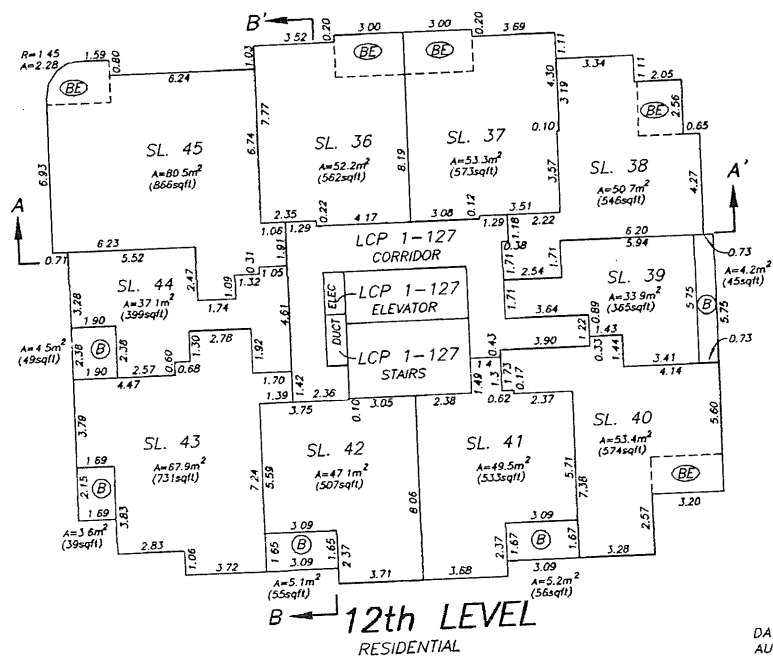
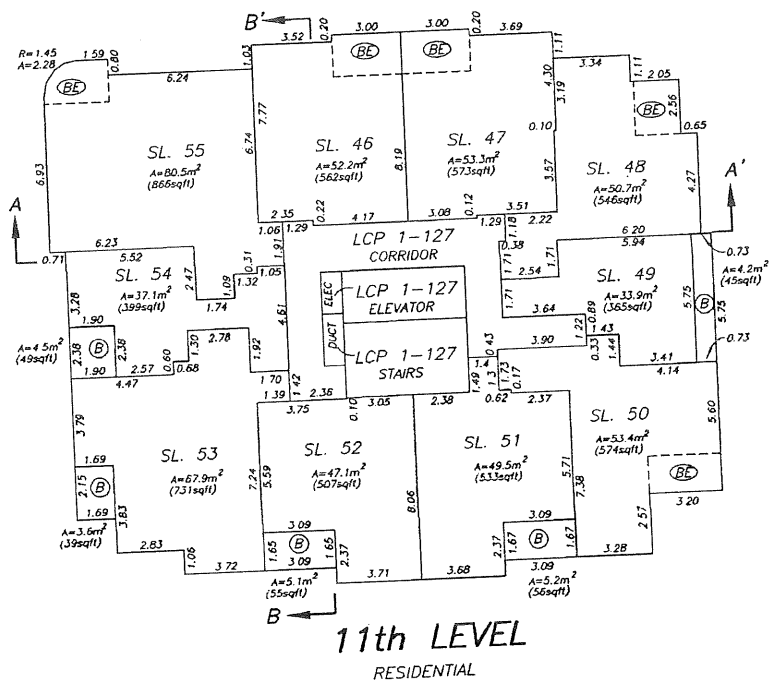
DATED THIS 10th DAY OF
AUGUST, 1998
B.C.L.S.
FILE: \2608\6-14TH

SHEET 14 OF 25 SHEETS

FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200

2 1 0 2 4 6 8 10
ALL DISTANCES ARE IN METRES

STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

DATED THIS 10th DAY OF
AUGUST, 1998

[Signature] B.C.L.S.
F.L.C. 2608/6-14TH

Plan #: LMS3463 App #: N/A Crt #:

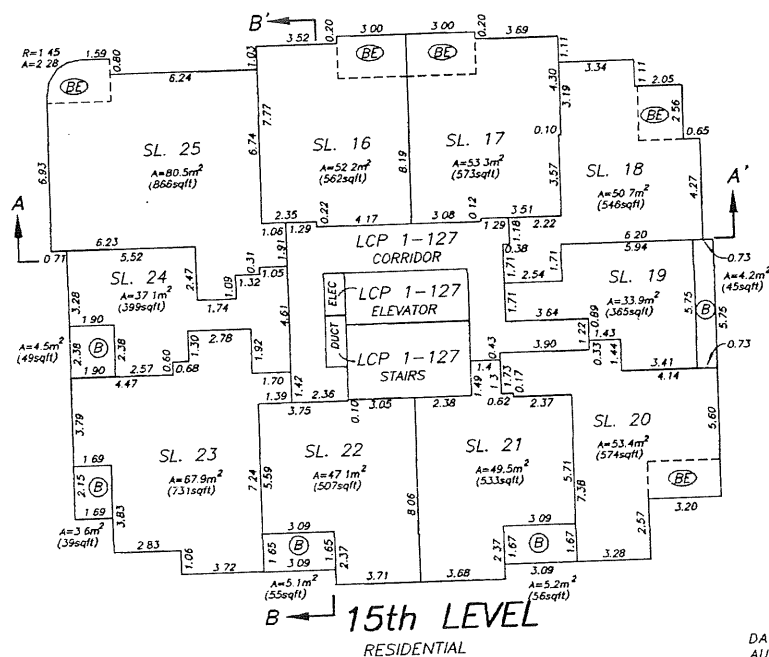
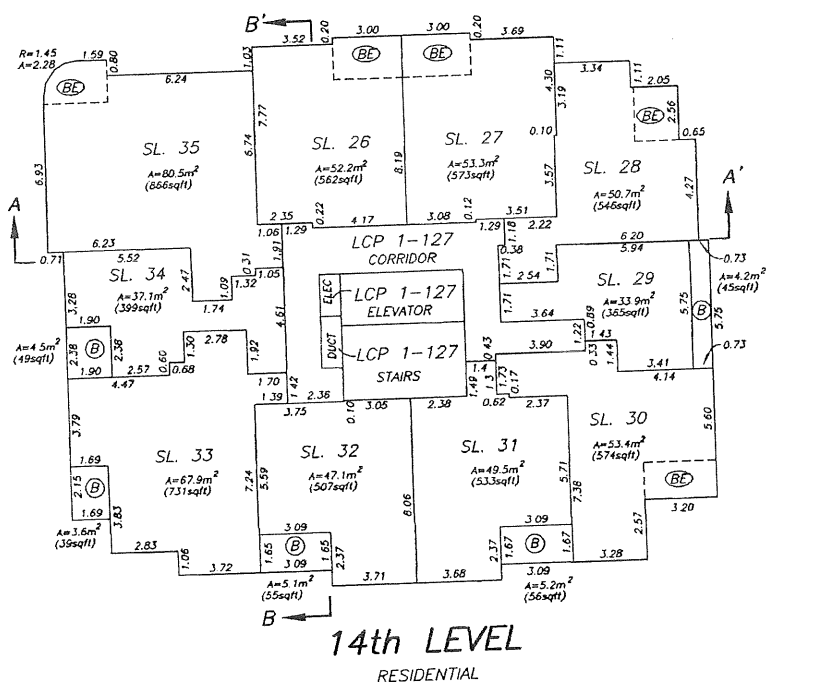
RCVD: 1998-09-11 ROST: 2025-08-27 14.10.33

FLOOR PLANS

STRATA PLAN LMS 3463

SCALE 1 : 200

ALL DISTANCES ARE IN METRES



STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

DATED THIS 10th DAY OF
AUGUST, 1998

FILE 2608\6-14TH
B.C.L.S.

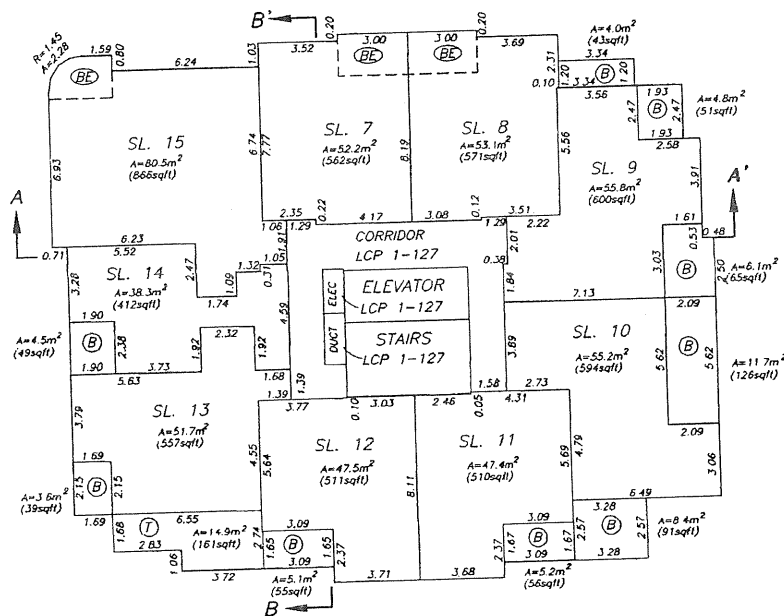
Plan #: LMS3463 App #: N/A Cht #:

RCVD: 1998-09-11 RQST: 2025-08-27 14:10:33

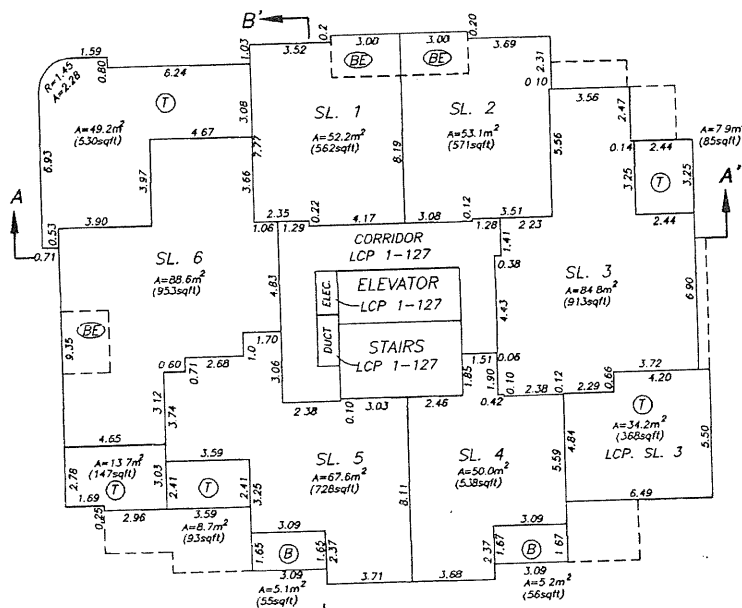
FLOOR PLANS
RESIDENTIAL

STRATA PLAN LMS 3463

SCALE 1 : 200



16th LEVEL
RESIDENTIAL



17th LEVEL
RESIDENTIAL

STRATA LOT BOUNDARY DEFINITION:
CENTRELINE OF WALLS FOR ALL RESIDENTIAL STRATA LOTS

DATED THIS 10th DAY OF
AUGUST, 1998
B.C.L.S.
FILE: \2608\15TH

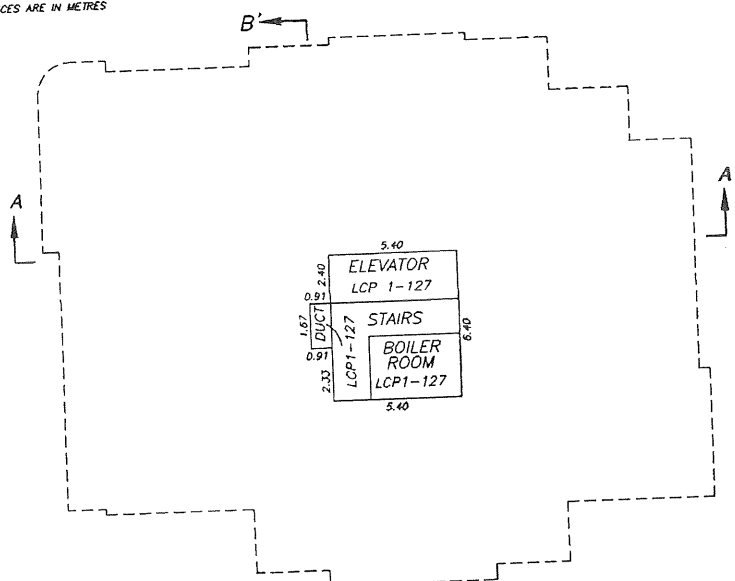
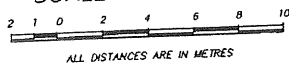
Plan #: LMS3463 App #: N/A Cth #:

RCVD: 1998-09-11 RQST: 2025-08-27 14.10.33

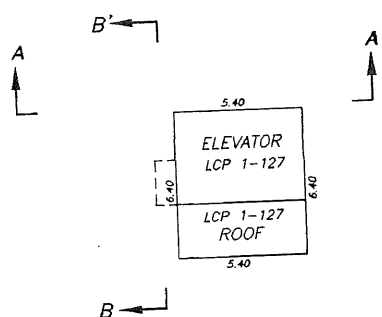
FLOOR PLANS
RESIDENTIAL

STRATA PLAN LMS 3463

SCALE 1 : 200



B ← 18th LEVEL
RESIDENTIAL



19th LEVEL
RESIDENTIAL

DATED THIS 10th DAY OF
AUGUST, 1998

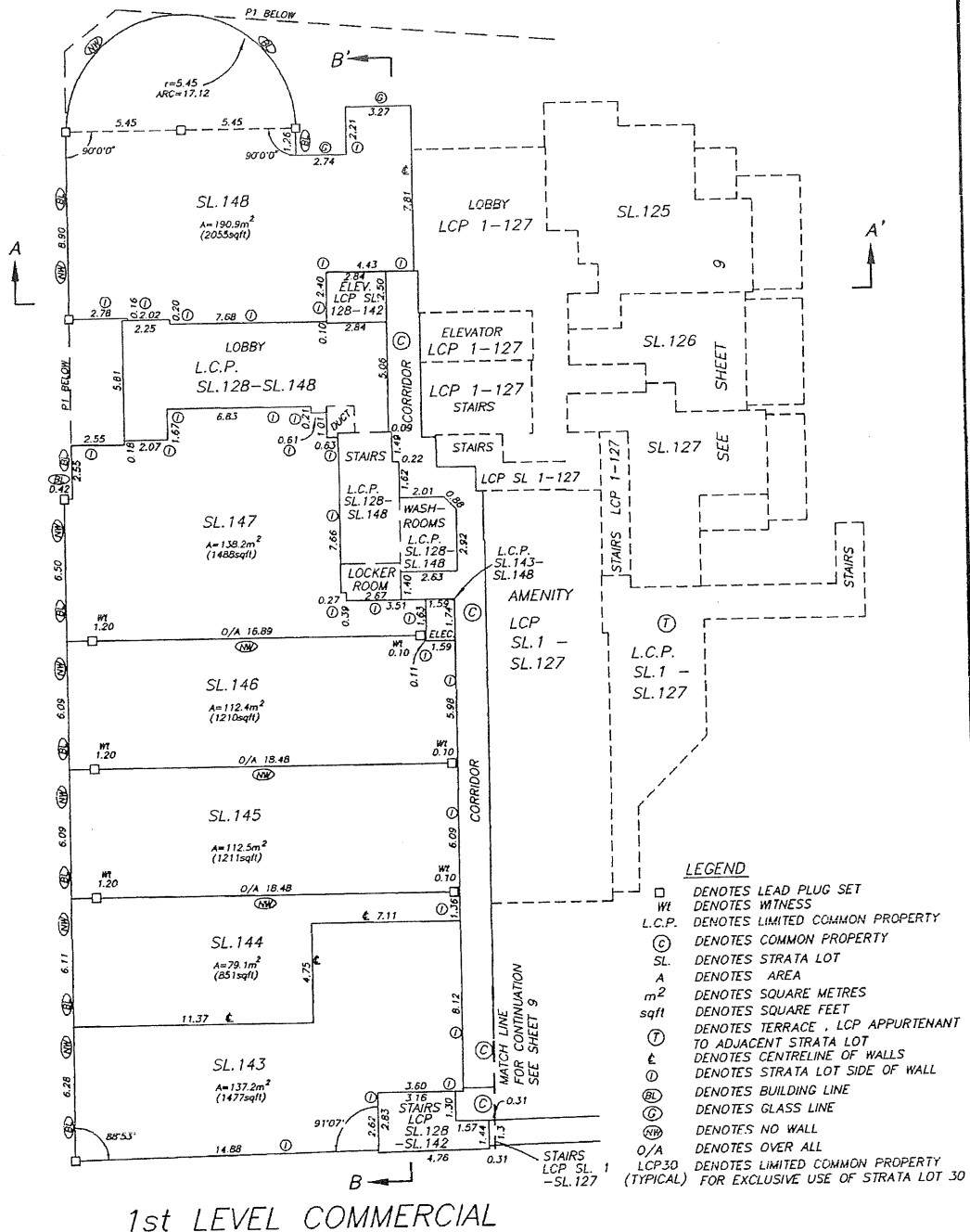
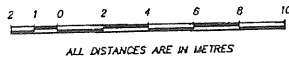
[Signature] B.C.L.S.

FILE: \2608\15TH

FLOOR PLANS

STRATA PLAN LMS3463

SCALE 1 : 200



STRATA LOT BOUNDARY DEFINITION:
SEE LEGEND FOR INDIVIDUAL BOUNDARY DESIGNATION

DATED THIS 24th DAY OF
AUGUST, 1998

[Signature] B.C.L.S.
FILE: \2608\C1ST

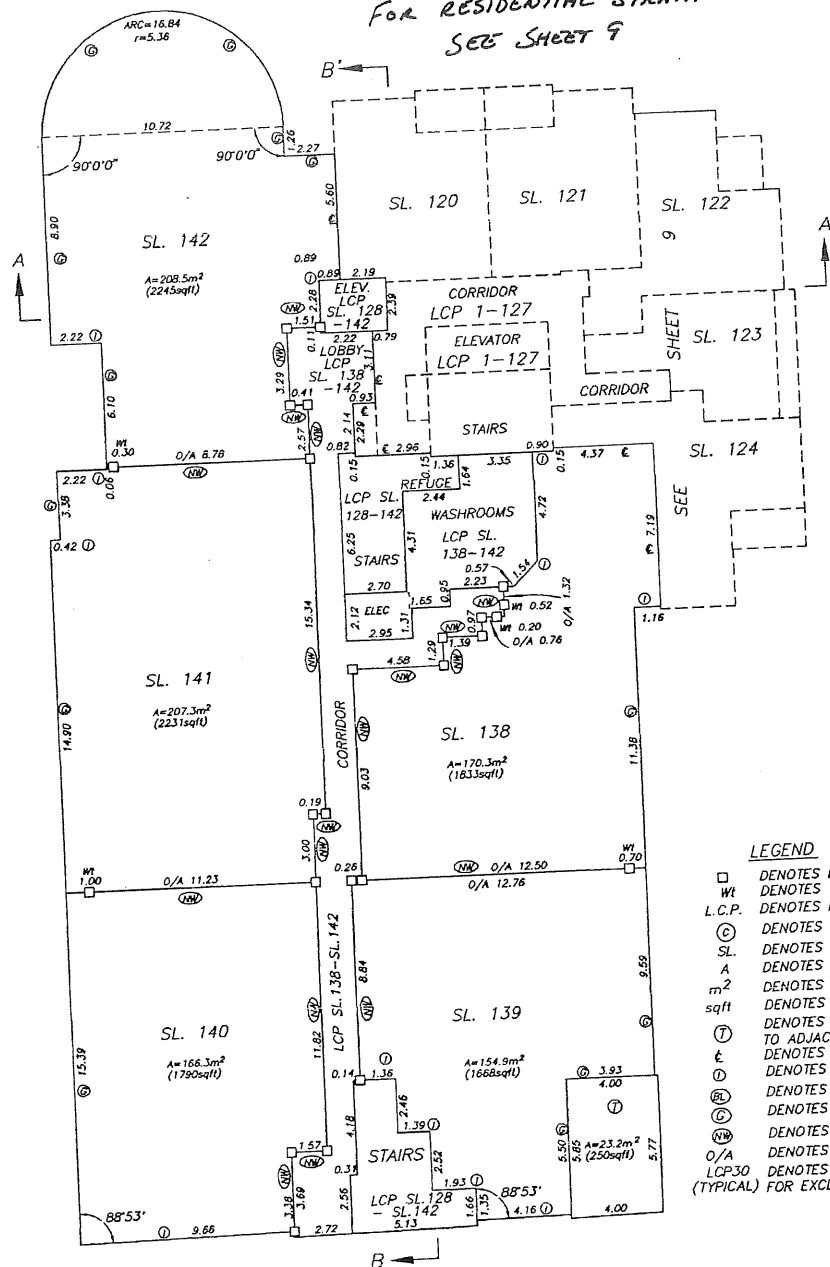
STRATA PLAN LMS3463

FLOOR PLANS

SCALE 1 : 200



FOR RESIDENTIAL STRATA LOTS
SEE SHEET 9



LEGEND

- LEGEND
- DENOTES LEAD PLUG SET
WT DENOTES WEIGHT
L.C.P. DENOTES LIMITED COMMON PROPERTY
(C) DENOTES COMMON PROPERTY
SL DENOTES STRATA LOT
A DENOTES AREA
m² DENOTES SQUARE METRES
sqft DENOTES SQUARE FEET
T DENOTES TERRACE, LCP APPURTENANT
TO ADJACENT STRATA LOT
E DENOTES CENTRELINE OF WALLS
① DENOTES STRATA LOT SIDE OF WALL
RL DENOTES BUILDING LINE
(G) DENOTES GLASS LINE
NW DENOTES NO WALL
O/A DENOTES OVER ALL
LCP30 DENOTES LIMITED COMMON PROPERTY
(TYPICAL) FOR EXCLUSIVE USE OF STRATA LOT 30

2nd LEVEL COMMERCIAL

STRATA LOT BOUNDARY DEFINITION:
SEE LEGEND FOR INDIVIDUAL BOUNDARY DESIGNATION

DATED THIS 21st DAY OF
AUGUST, 1998

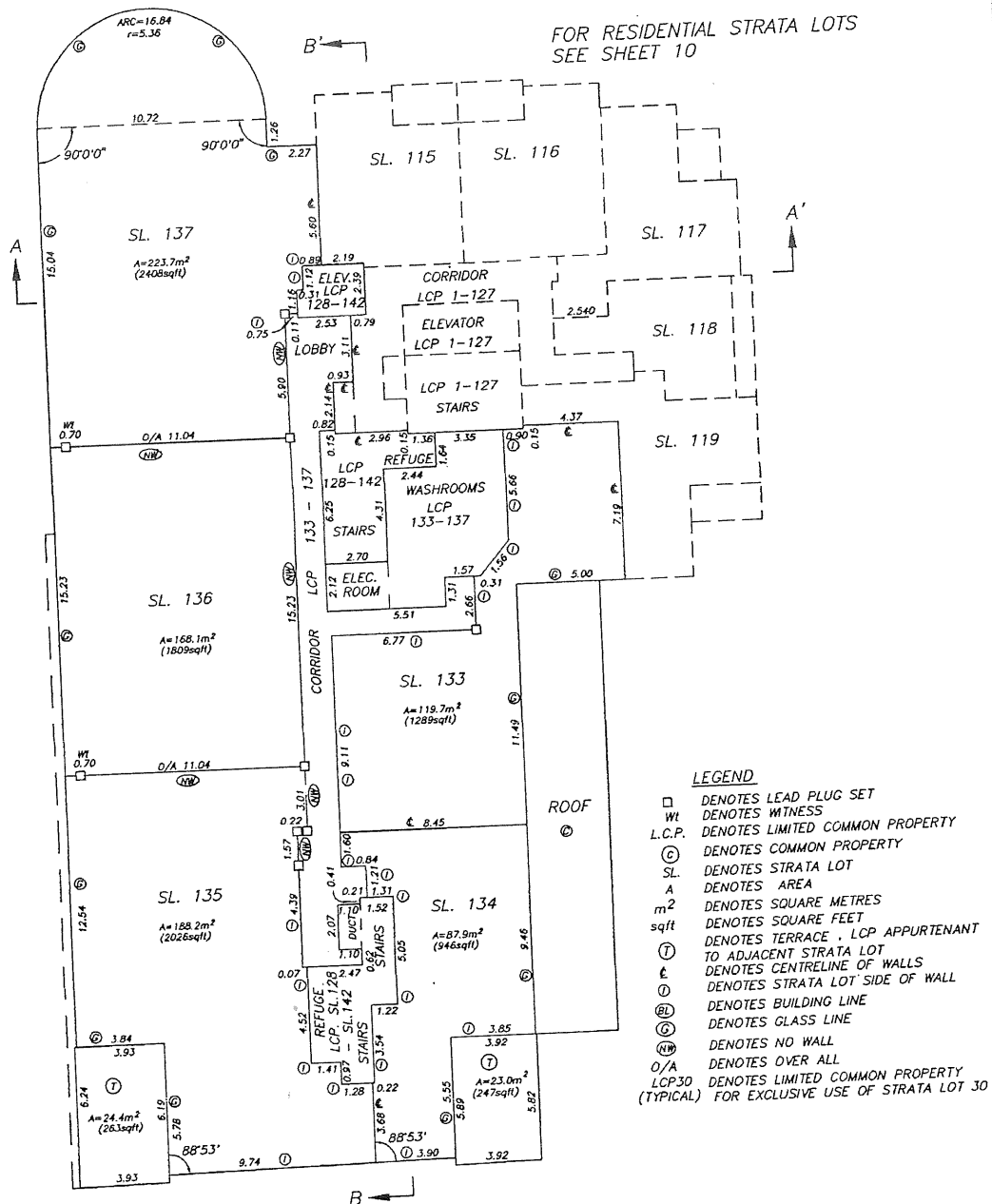
23 B.C.L.S.
FILE: \2608\C2ND

FLOOR PLANS

STRATA PLAN LMS3463

SCALE 1 : 200

ALL DISTANCES ARE IN METRES

FOR RESIDENTIAL STRATA LOTS
SEE SHEET 10

LEGEND

- DENOTES LEAD PLUG SET
- WT DENOTES WITNESS
- L.C.P. DENOTES LIMITED COMMON PROPERTY
- ⊙ DENOTES COMMON PROPERTY
- SL DENOTES STRATA LOT
- A DENOTES AREA
- m² DENOTES SQUARE METRES
- sq/ft DENOTES SQUARE FEET
- ⊕ DENOTES TERRACE, LCP APPURTENANT TO ADJACENT STRATA LOT
- ⊥ DENOTES CENTRELINE OF WALLS
- ① DENOTES STRATA LOT SIDE OF WALL
- BL DENOTES BUILDING LINE
- ⊙ DENOTES GLASS LINE
- NW DENOTES NO WALL
- O/A DENOTES OVER ALL
- LCP30 DENOTES LIMITED COMMON PROPERTY (TYPICAL) FOR EXCLUSIVE USE OF STRATA LOT 30

3rd LEVEL COMMERCIAL

STRATA LOT BOUNDARY DEFINITION:
SEE LEGEND FOR INDIVIDUAL BOUNDARY DESIGNATION


DATED THIS 21st DAY OF
AUGUST, 1998

[Signature] B.C.L.S.
FILE: X2608\C3RD

FLOOR PLANS

STRATA PLAN LMS3463

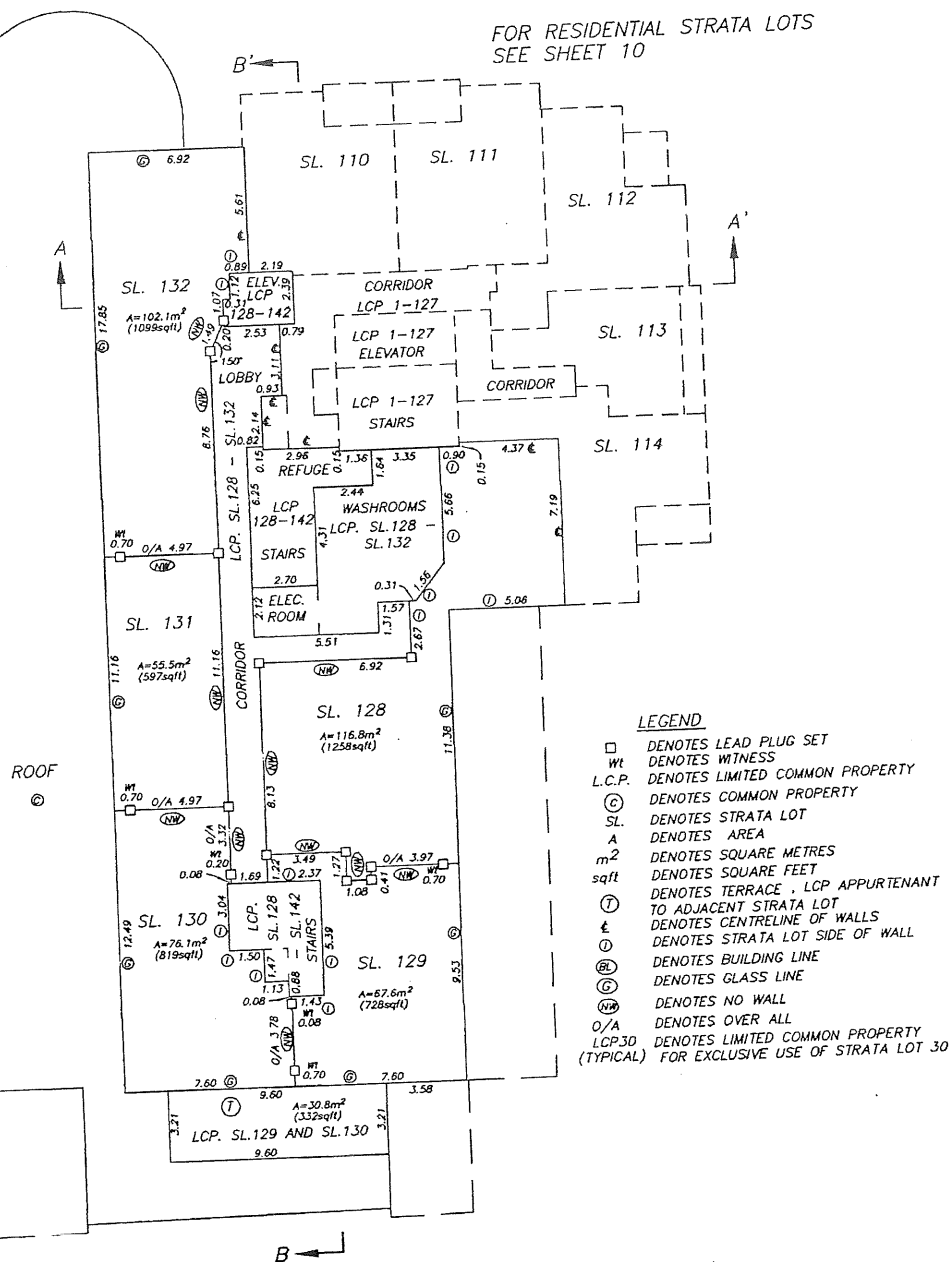
SCALE 1 : 200



ALL DISTANCES ARE IN METRES



FOR RESIDENTIAL STRATA LOTS
SEE SHEET 10



LEGEND

- DENOTES LEAD PLUG SET
- Wt DENOTES WITNESS
- L.C.P. DENOTES LIMITED COMMON PROPERTY
- ⊙ DENOTES COMMON PROPERTY
- SL DENOTES STRATA LOT
- A DENOTES AREA
- m² DENOTES SQUARE METRES
- sqft DENOTES SQUARE FEET
- ⑦ DENOTES TERRACE, LCP APPURTENANT TO ADJACENT STRATA LOT
- ⊕ DENOTES CENTRELINE OF WALLS
- ⊖ DENOTES STRATA LOT SIDE OF WALL
- Ⓢ DENOTES BUILDING LINE
- Ⓢ DENOTES GLASS LINE
- Ⓢ DENOTES NO WALL
- O/A DENOTES OVER ALL
- LCP30 DENOTES LIMITED COMMON PROPERTY FOR EXCLUSIVE USE OF STRATA LOT 30 (TYPICAL)

4th LEVEL COMMERCIAL

STRATA LOT BOUNDARY DEFINITION:
SEE LEGEND FOR INDIVIDUAL BOUNDARY DESIGNATION

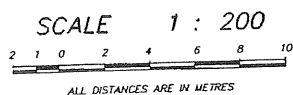
DATED THIS 21st DAY OF
AUGUST, 1998
B.C.L.S.
FILE: 2608\4TH

Plan #: LMS3463 App #: N/A Ctl #:

RCVD: 1998-09-11 RQST: 2025-08-27 14:10:33

SECTION PLANS

STRATA PLAN LMS3463



SECTION A -A'

(LEVEL 13th IS NOT USED)

	SL. 6		LCP 1-127 CORRIDOR	SL. 3	LEVEL 17
	SL. 14	SL. 15	LCP 1-127 CORRIDOR	SL. 9	LEVEL 16
	SL. 24	SL. 25	LCP 1-127 CORRIDOR	SL. 18	LEVEL 15
	SL. 34	SL. 35	LCP 1-127 CORRIDOR	SL. 28	LEVEL 14
	SL. 44	SL. 45	LCP 1-127 CORRIDOR	SL. 38	LEVEL 12
	SL. 54	SL. 55	LCP 1-127 CORRIDOR	SL. 48	LEVEL 11
	SL. 64	SL. 65	LCP 1-127 CORRIDOR	SL. 58	LEVEL 10
	SL. 74	SL. 75	LCP 1-127 CORRIDOR	SL. 68	LEVEL 9
	SL. 84	SL. 85	LCP 1-127 CORRIDOR	SL. 78	LEVEL 8
	SL. 94	SL. 95	LCP 1-127 CORRIDOR	SL. 88	LEVEL 7
	SL. 103	SL. 104	LCP 1-127 CORRIDOR	SL. 98	LEVEL 6
LEVEL 4	SL. 132	ELEV. 148	LCP 1-127 CORRIDOR	SL. 107	LEVEL 5
LEVEL 3	SL. 137	ELEV. 128	LCP 1-127 CORRIDOR	SL. 112	LEVEL 4
LEVEL 2	SL. 142	ELEV. 128	LCP 1-127 CORRIDOR	SL. 117	LEVEL 3
LEVEL 1	SL. 148	LCP ELEV. 148	CORRIDOR LOBBY LCP 1-127	SL. 125	LEVEL 2
LEVEL P1	VISITOR AND COMMERCIAL PARKING 13	ELEV. 148	LOBBY LCP 1-127	VISITOR AND COMMERCIAL PARKING	LEVEL P1
LEVEL P2	VISITOR AND COMMERCIAL PARKING 68	ELEV. 148	LOBBY LCP 1-127	VISITOR AND COMMERCIAL PARKING	LEVEL P2
LEVEL P3	RESIDENTIAL PARKING LCP 1-127 124	ELEV. 821	LOBBY LCP 1-127	RESIDENTIAL PARKING LCP 1-127	LEVEL P3
LEVEL P4	RESIDENTIAL PARKING LCP 1-127 177	ELEV. 407	LOBBY LCP 1-127	RESIDENTIAL PARKING LCP 1-127	LEVEL P4

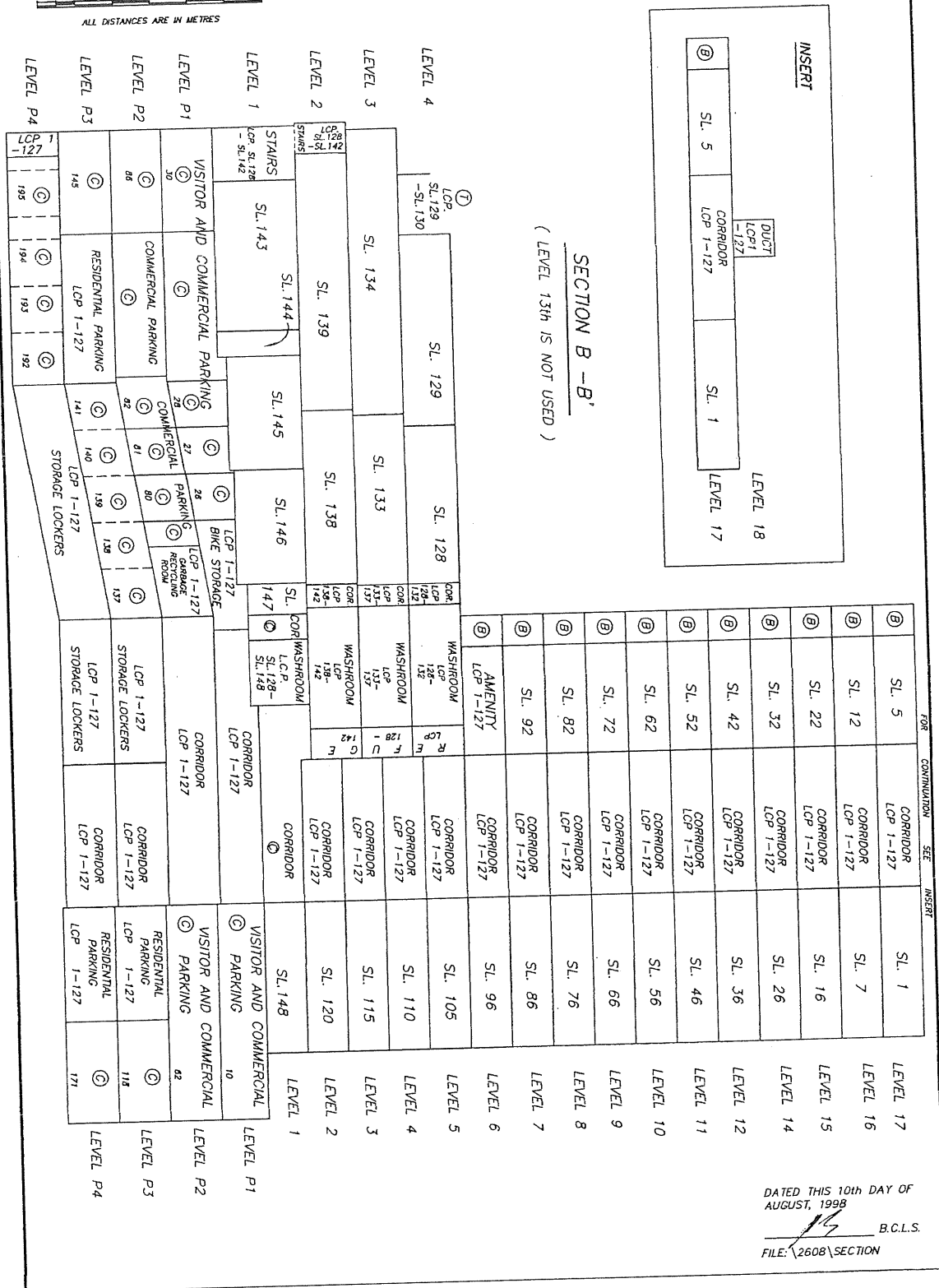
DATED THIS 10th DAY OF
AUGUST, 1998

FILE: 2608 \SECTION

Plan #: LMS3463 App #: N/A Crtt #:

RCVD: 1998-09-11 ROST: 2025-08-27 14:10:33

ALL DISTANCES ARE IN METRES



DATED THIS 10th DAY OF
AUGUST, 1998

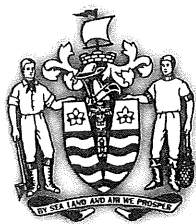
[Signature] B.C.L.S.

FILE: \2608\SECTION

RCVD: 1998-09-11 RQST: 2025-08-27 14.10.33

Page 25 of 25

DATED THIS 10th DAY OF
AUGUST, 1998
FILE: 15 B.C.L.S.
2608\LOT1-S1



City of Vancouver Zoning and Development By-law

Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 873.7060
 planning@city.vancouver.bc.ca

This is Exhibit "O" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits within British Columbia.

CD-1 (352)

3438 Vanness Avenue & 5104-56 Joyce Street
 By-law No. 7639

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective October 22, 1996

(Amended up to and including By-law No. 8760, dated December 9, 2003)

- 1** [Section 1 is not reprinted here. It contains a standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1.]

2 Uses

- 2.1** The area shown included within the heavy black outline on Schedule "A" shall be more particularly described as CD-1 (352), and the only uses permitted within the outlined area, subject to such conditions as Council may by resolution prescribe, and the only uses for which development permits will be issued are
- (a) Dwelling Units,
 - (b) Cultural and Recreational Uses, except for Arcades, Billiard Halls, Spas and Steam Baths,
 - (c) Institutional Uses, except for Detoxification Centre and Hospital,
 - (d) Office Uses,
 - (e) Retail Uses, except for Adult Retail Store, Gasoline Station - Full Serve or Gasoline Station - Split Island and Vehicle Dealer,
 - (f) Service Uses, except for Cabaret, Drive-through Service, Funeral Home, Motor Vehicle Repair Shop and Motor Vehicle Wash, and
 - (g) Accessory Uses customarily ancillary to the above uses.
- [8032; 99 06 15]
- 2.2** For the purpose of section 2.1 the term "Cultural and Recreational Uses" shall not include a theatre which projects or displays adult motion pictures as defined in the *Motion Picture Act*.
[8032; 99 06 15]

3 Floor Space Ratio

- 3.1** The floor space ratio must not exceed 5.60.
- 3.2** The following will be included in the computation of floor space ratio:
- (a) all floors of all buildings including accessory buildings, both above and below ground level, to be measured to the extreme outer limits of the building.
- 3.3** The following will be excluded in the computation of floor space ratio:
- (a) open residential balconies or sun decks and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed eight percent of the residential floor area being provided;
 - (b) patios and roof gardens, for residential purposes only, provided that the Director of Planning first approves the design of sunroofs and walls;
 - (c) where floors are used for off-street parking and loading, bicycle storage, heating and mechanical equipment, or uses which, in the opinion of the Director of Planning, are similar to the foregoing, those floors or portions thereof so used, which:
 - (i) are at or below the base surface, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length; or
 - (ii) are above the base surface and where developed as off-street parking, are located in an accessory building situated in the rear yard, provided that the maximum exclusion for a parking space shall not exceed 7.3 m in length;
 - (d) amenity areas, including child day care facilities, recreation facilities and meeting rooms accessory to a residential use, to a maximum total area of 10 percent of the total building floor area;

Note: Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 7639 or provides an explanatory note.

- (e) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit; [8760; 03 12 09]
- (f) floor area used by a non-profit society, such as a community crime-prevention office or other use considered to be similar to the foregoing;
- (g) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

3.4 The Director of Planning may permit the following to be excluded in the computation of floor space ratio:

- (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure, subject to the following:
 - (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
 - (ii) no more than fifty percent of the excluded balcony floor area may be enclosed.

4 **Height**

The maximum building height measured above the base surface is 48.0 m.

5 **Off-Street Parking and Loading**

Off-street parking and loading must be provided, developed and maintained in accordance with the applicable provisions of the Parking Bylaw, except that

- (a) a minimum of 0.75 off-street parking space for every dwelling unit plus one space for each 250 m² of gross residential floor area must be provided, and
- (b) one additional off-street loading space for each 200 dwelling units must be provided. [7722; 97 04 08]

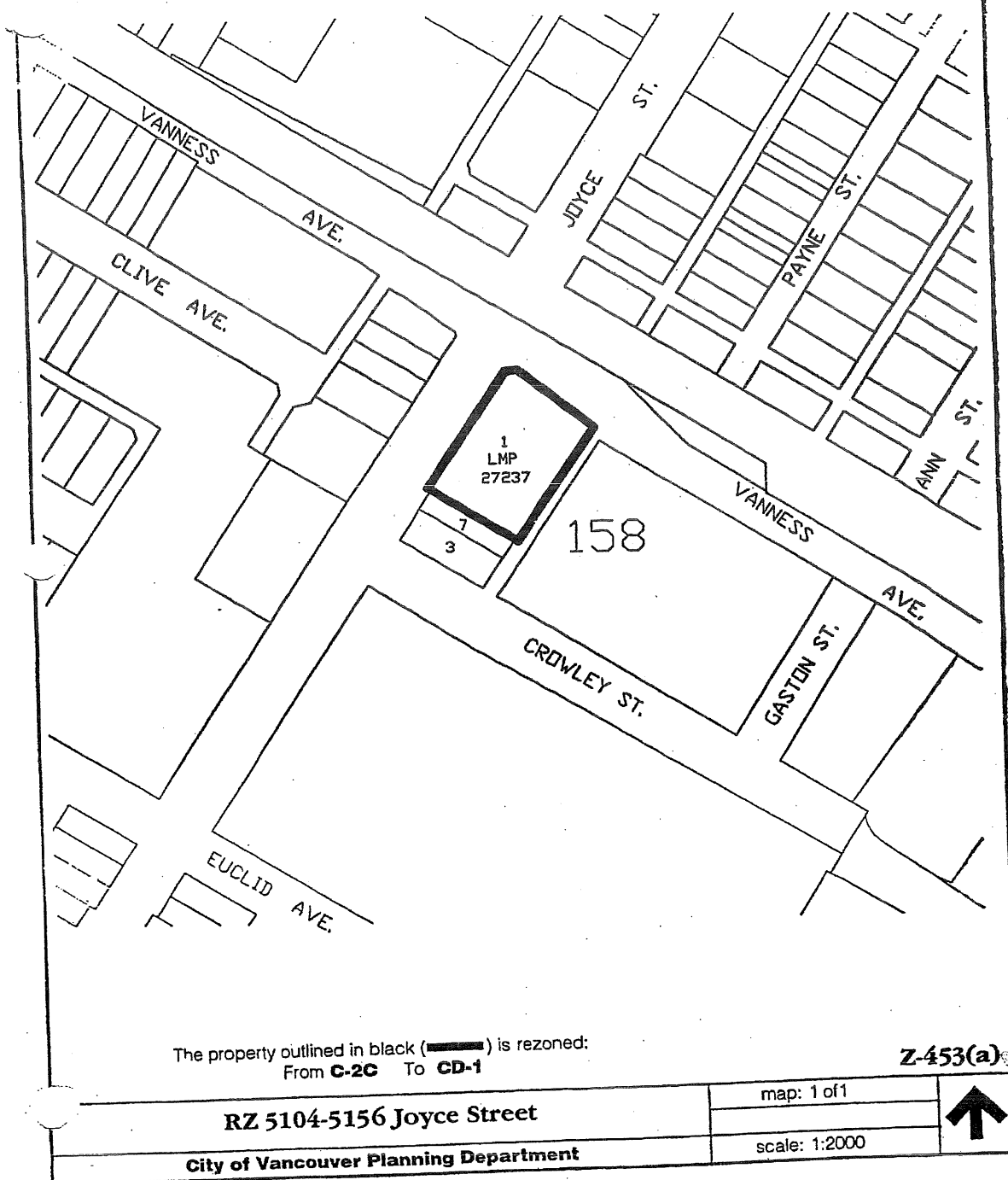
6 **Acoustics**

All development permit applications require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below will not exceed the noise level set opposite such portions. For the purposes of this section, the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as noise level in decibels.

Portions of Dwelling Units	Noise Level (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

7 *[Section 7 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signatures to pass the by-law and to certify the by-law number and date of enactment.]*

BY-LAW No. 7639 BEING A BY-LAW TO AMEND BY-LAW No. 3575
BEING THE ZONING & DEVELOPMENT BY-LAW



This is Exhibit "P" referred to in the
affidavit of Tetsu Takagaki affirmed
before me at Vancouver, British
Columbia, this 17 day of September,
2025



A Commissioner for taking Affidavits
within British Columbia.

RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

SHEET 1 OF 23 SHEETS

STRATA PLAN OF LOT C BLOCK 5 DISTRICT LOT 36 GROUP 1 N.W.D. PLAN BCP10205

B.C.G.S. 92G.025

CITY OF VANCOUVER

Integrated Survey Area No. 31 City of Vancouver

This plan shows ground level measured distances.
Prior to computation of U.T.M. coordinates multiply
by a combined factor of 0.9995875

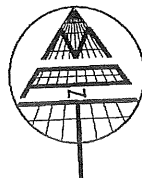
Grid bearings are (NAD83 CSRS) derived from Plan BCP10205

PLAN BCS 2012

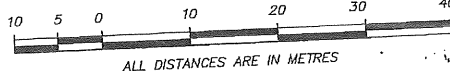
Deposited and Registered in the Land Title Office
at New Westminster B.C. on
This 6 Day of SEPT, 2006

Jan MacDonell 100
Deputy Registrar

BA 544350-554



SCALE 1 : 500

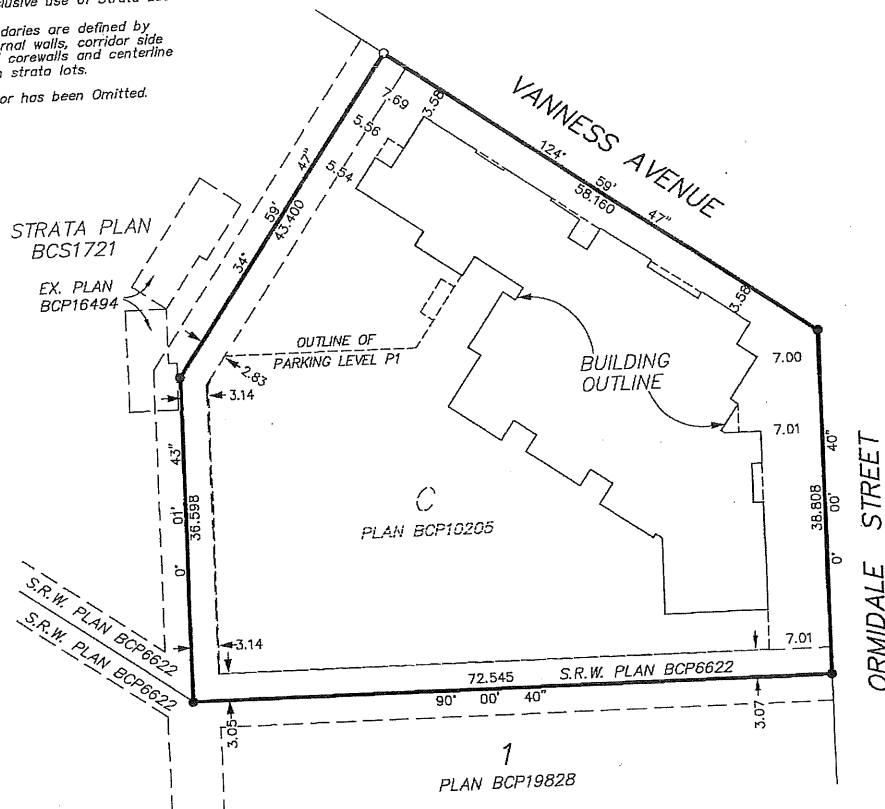


LEGEND

- Denotes Standard Iron Post found
- Denotes Standard Iron Post set
- Wt Denotes Witness
- SL Denotes Strata Lot
- ⊙ Denotes Common Property
- m² Denotes Square Metres
- A Denotes Area
- B Denotes Balcony
- P Denotes Patio
- T Denotes Terrace
- E Denotes Electrical Being Common Property
- M Denotes Mechanical Being Common Property
- LCP33 Denotes Limited Common Property
(Typical) for Exclusive use of Strata Lot 33

Strata lot boundaries are defined by
outside of external walls, corridor side
of corridor and corewalls and centerline
of wall between strata lots.

Note: 13th Floor has been Omitted.



I, Shannon Underwater, a British Columbia Land Surveyor
of Surrey, in British Columbia, certify that I was
present at and personally supervised the survey
represented by this plan, and that the survey and
plan are correct. The field survey was completed on
the 28th day of July, 2006. The plan was completed
and checked, and the checklist filed under ECF# 52088
on the 31st day of July, 2006.

S. Underwater

B.C.L.S.

CIVIC ADDRESS OF PROPERTY:
5380-ORMIDALE STREET
VANCOUVER, B.C.

MPT LAND SURVEYING CO. (SURREY) LTD.
#201-8484-162 STREET,
SURREY, B.C., V4N 1B4
FILE: 2608-CIRCA-S1

THIS PLAN LIES WITHIN THE GREATER VANCOUVER DISTRICT

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctr #: 1

Status: Filed

SHEET 2 OF 23 SHEETS

STRATA PROPERTY ACT

STRATA PLAN BCS 2012

Owner:
Collingwood Village Holdings Ltd.
(Incorporation No. 666928)
By its Authorized Signatory

Robert McKay
Name: RMckay
Lionel J. Wozny
Name: Lionel J. Wozny

Witness:
As to Both Signatures

Heather Harley
Name: Heather Harley
3430 W 7th Ave, Vancouver
Address of Witness
Marketing Manager
Occupation of Witness

Mortgage:
Canadian Imperial Bank of Commerce
By its Authorized Signatory

Armando Santos
Name: ARMANDO SANTOS ASST. GENERAL MANAGER
Ann Marie Merrick
Name: Ann Marie Merrick - Asst. General Manager

Witness:
As to Both Signatures

Aditya Shivnarin
Name: Aditya Shivnarin
595 Baw Street, 3rd Floor
Address of Witness
Banker/Notary for The Province of Ontario
Occupation of Witness

I, Shannon Underwater, a British Columbia
Land Surveyor, of Surrey, Certify that the
Building Shown on this Strata Plan is Within
the External Boundaries of the land that
is the Subject of the Strata Plan.
Dated This 31st Day of July, 2006

S. Underwater B.C.L.S.

I, Shannon Underwater, a British Columbia
Land Surveyor, of Surrey, Certify that the
Building included in this Strata Plan has
not, as the 31st Day of July, 2006
been Previously Occupied.
Dated This 31st Day of July, 2006

S. Underwater B.C.L.S.

City of Vancouver, as holder of
Covenant BV306994, BV306992 and BV306966, BV306967, BV306988 and BV306989,
hereby approve the filing
of this strata plan.

Gratzen BOS
Authorized Signatory GRATZEN JOHNSON

MPT LAND SURVEYING CO. (SURREY) LTD.
#201-8484-162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

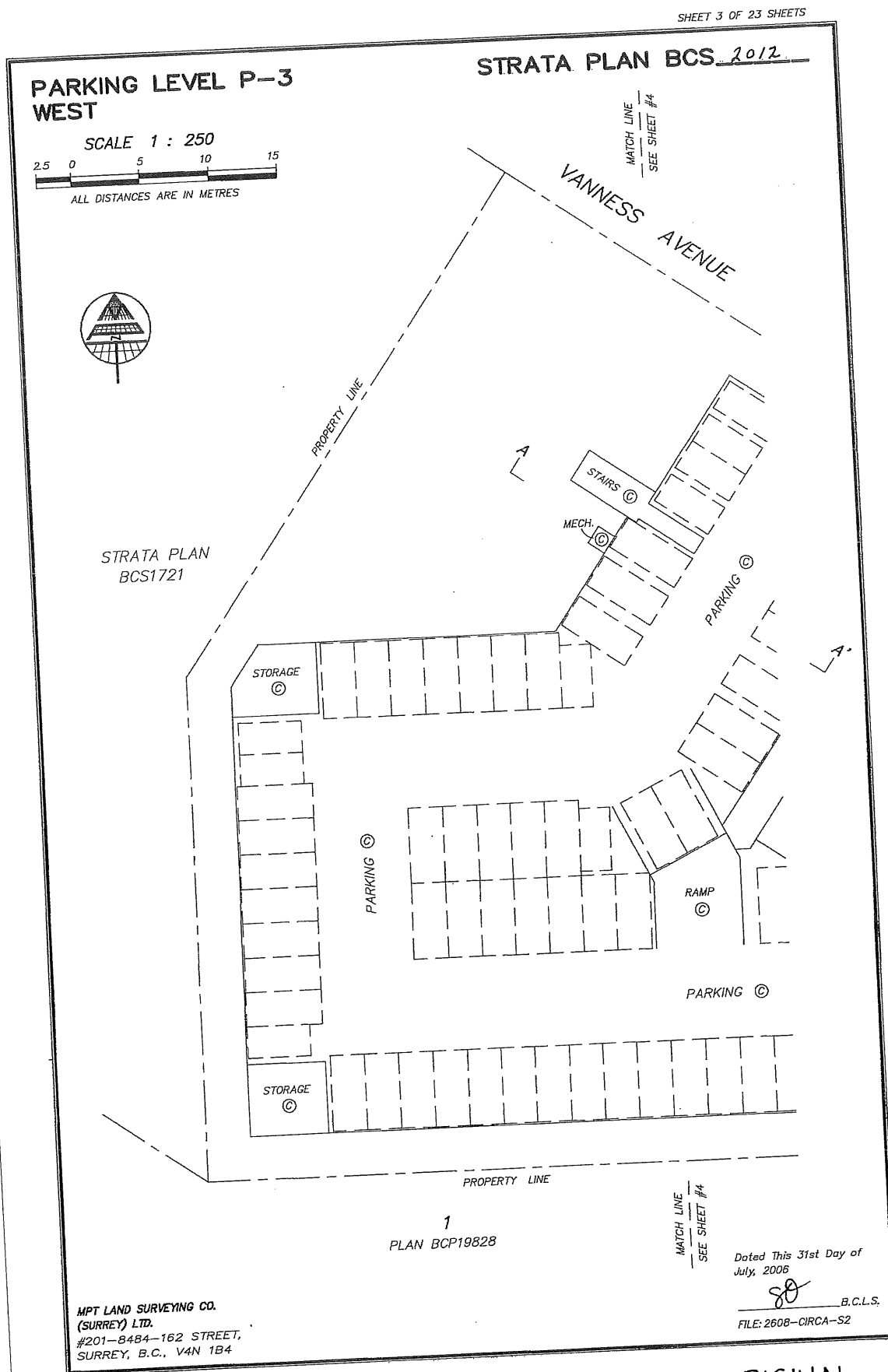
S. Underwater B.C.L.S.
FILE: 2608-CIRCA-S1

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

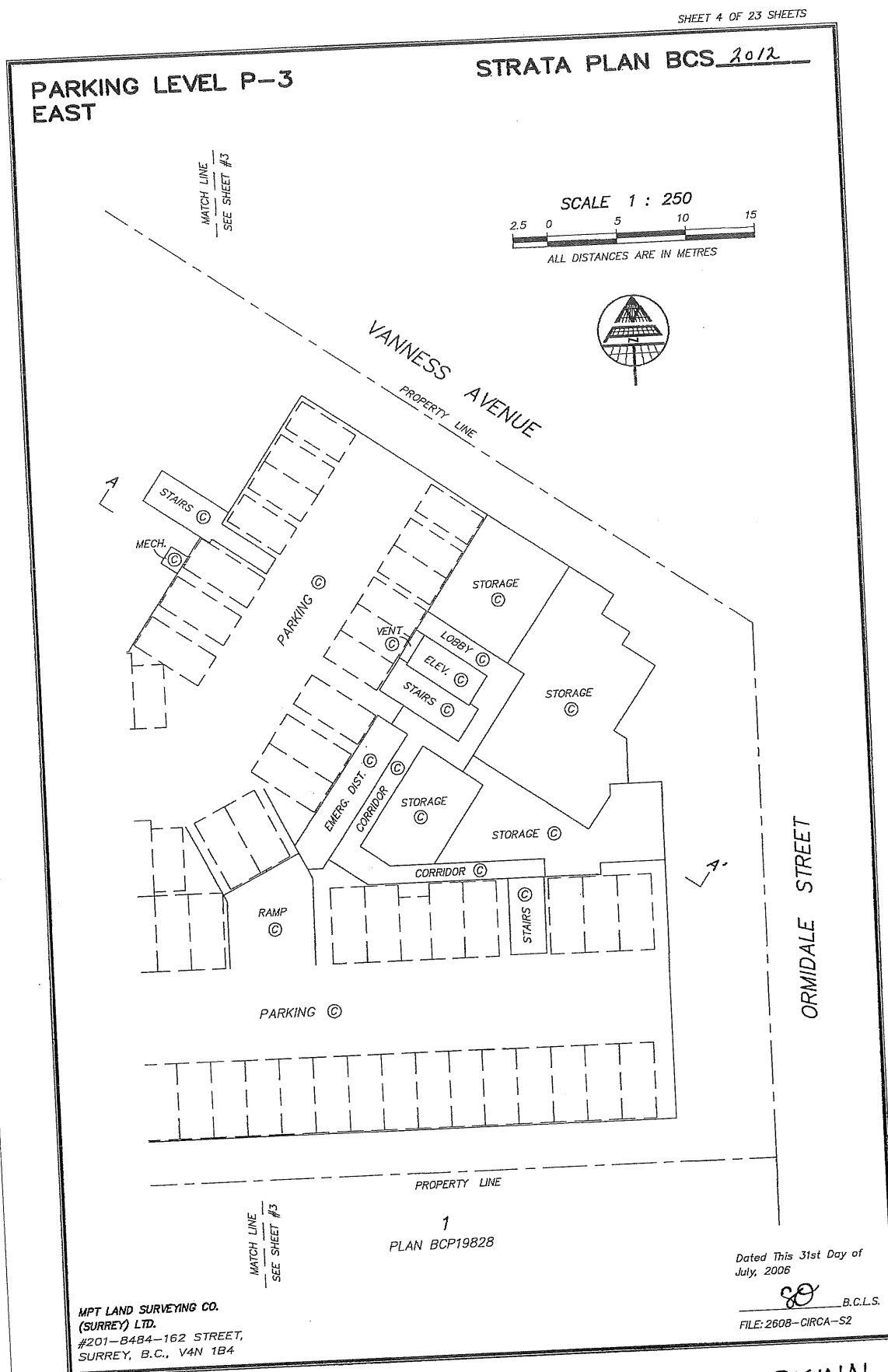
Status: Filed



ORIGINAL

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed



ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

SHEET 5 OF 23 SHEETS

PARKING LEVEL P-2 WEST

STRATA PLAN BCS 2012

SCALE 1 : 250
2.5 0 5 10 15
ALL DISTANCES ARE IN METRES

STRATA PLAN
BCS1721

PROPERTY LINE

VANNESS AVENUE

MATCH LINE
SEE SHEET #6STORAGE
©MECH.
©STAIRS
©

PARKING ©

PARKING ©

RAMP
©SERVICE
©

PARKING ©

STORAGE
©

PROPERTY LINE

1
PLAN BCP19828MATCH LINE
SEE SHEET #6

MPT LAND SURVEYING CO.
(SURREY) LTD.
#201-8484-162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

80 B.C.L.S.
FILE: 2608-CIRCA-S2

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

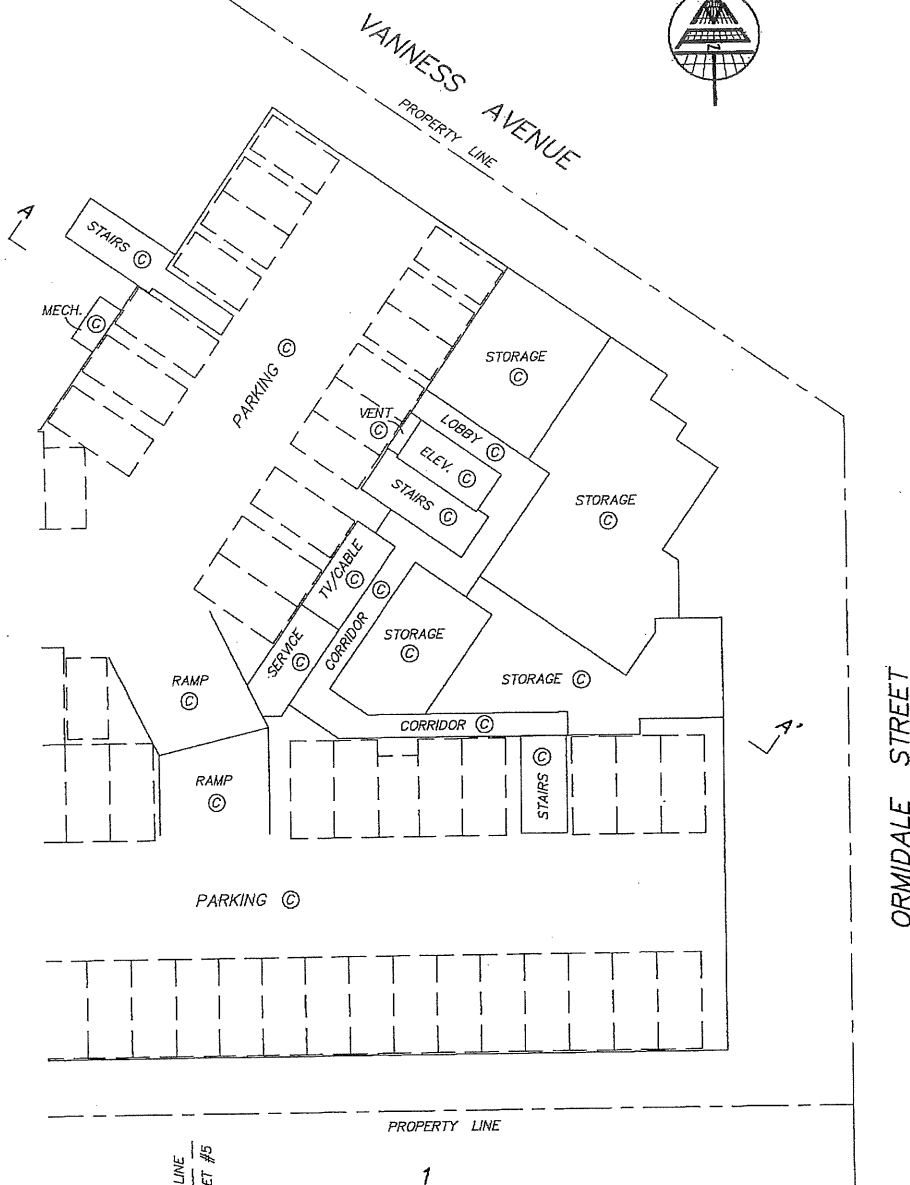
SHEET 6 OF 23 SHEETS

PARKING LEVEL P-2 EAST

STRATA PLAN BCS 2012

MATCH LINE
SEE SHEET #5

SCALE 1 : 250
2.5 0 5 10 15
ALL DISTANCES ARE IN METRES



MATCH LINE
SEE SHEET #5

1
PLAN BCP19828

MPT LAND SURVEYING CO.
(SURREY) LTD.
#201-B4B4-162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

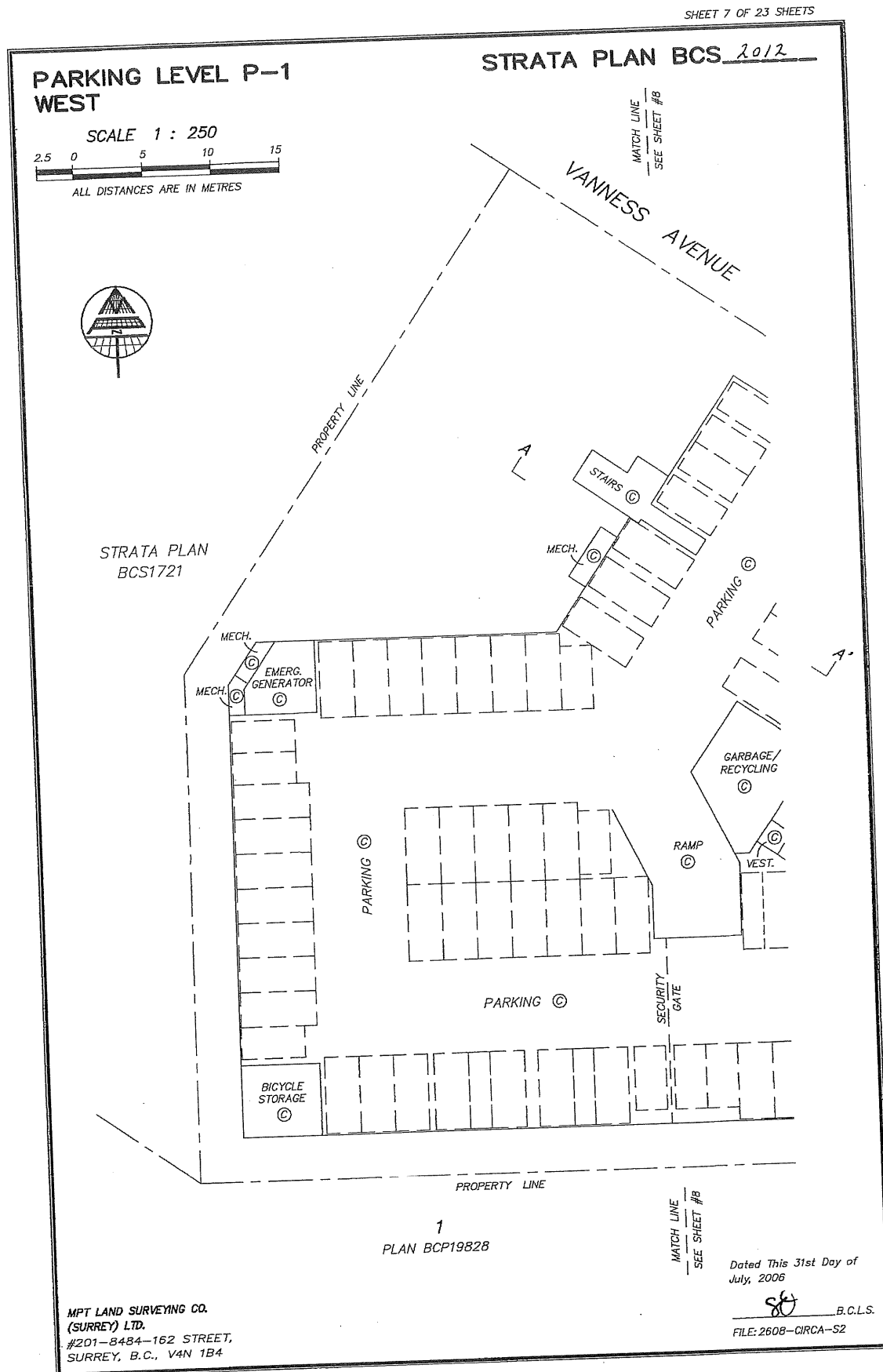
80 B.C.L.S.
FILE: 2608-CIRCA-S2

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed



ORIGINAL

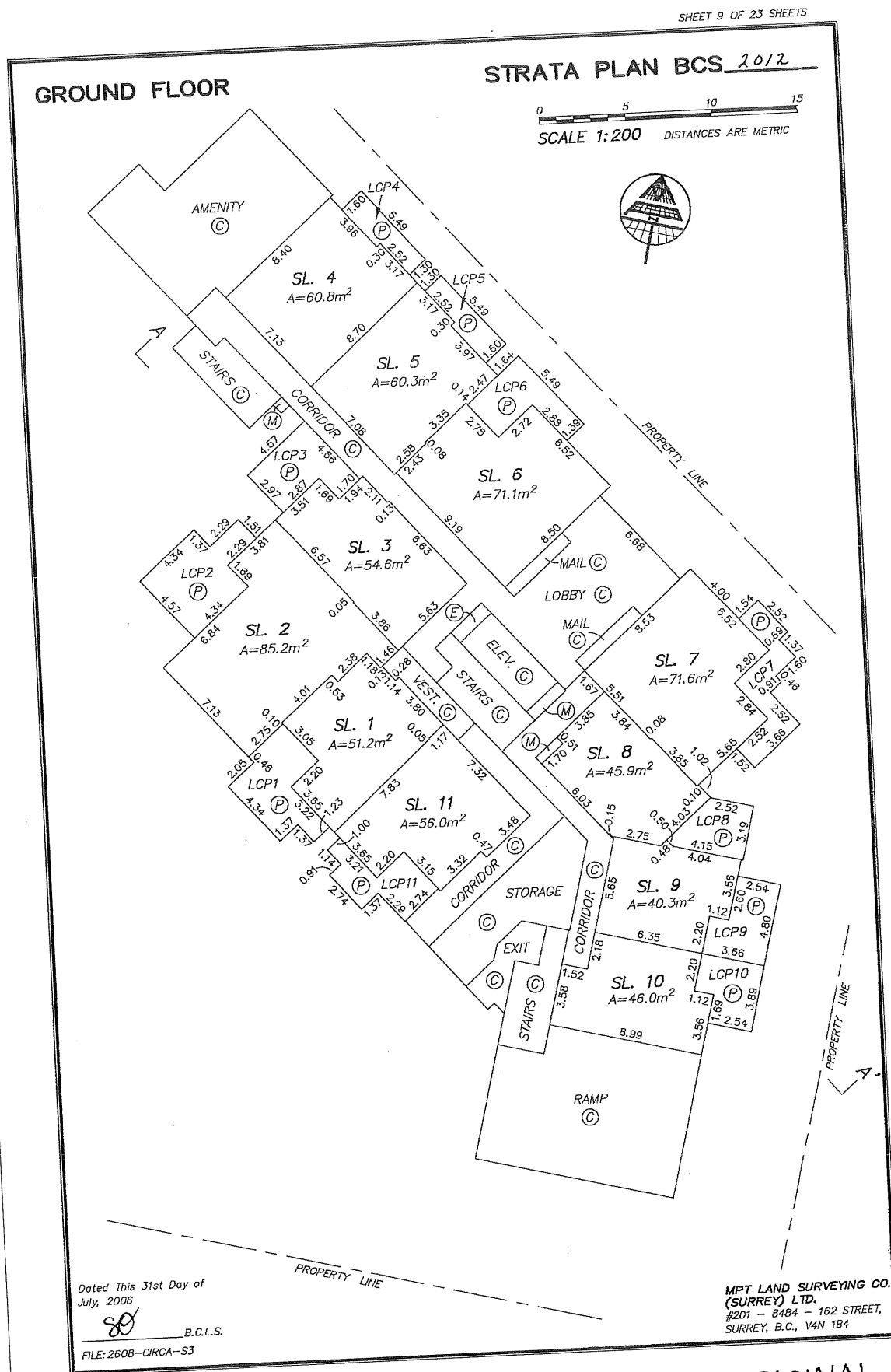
Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed



Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed



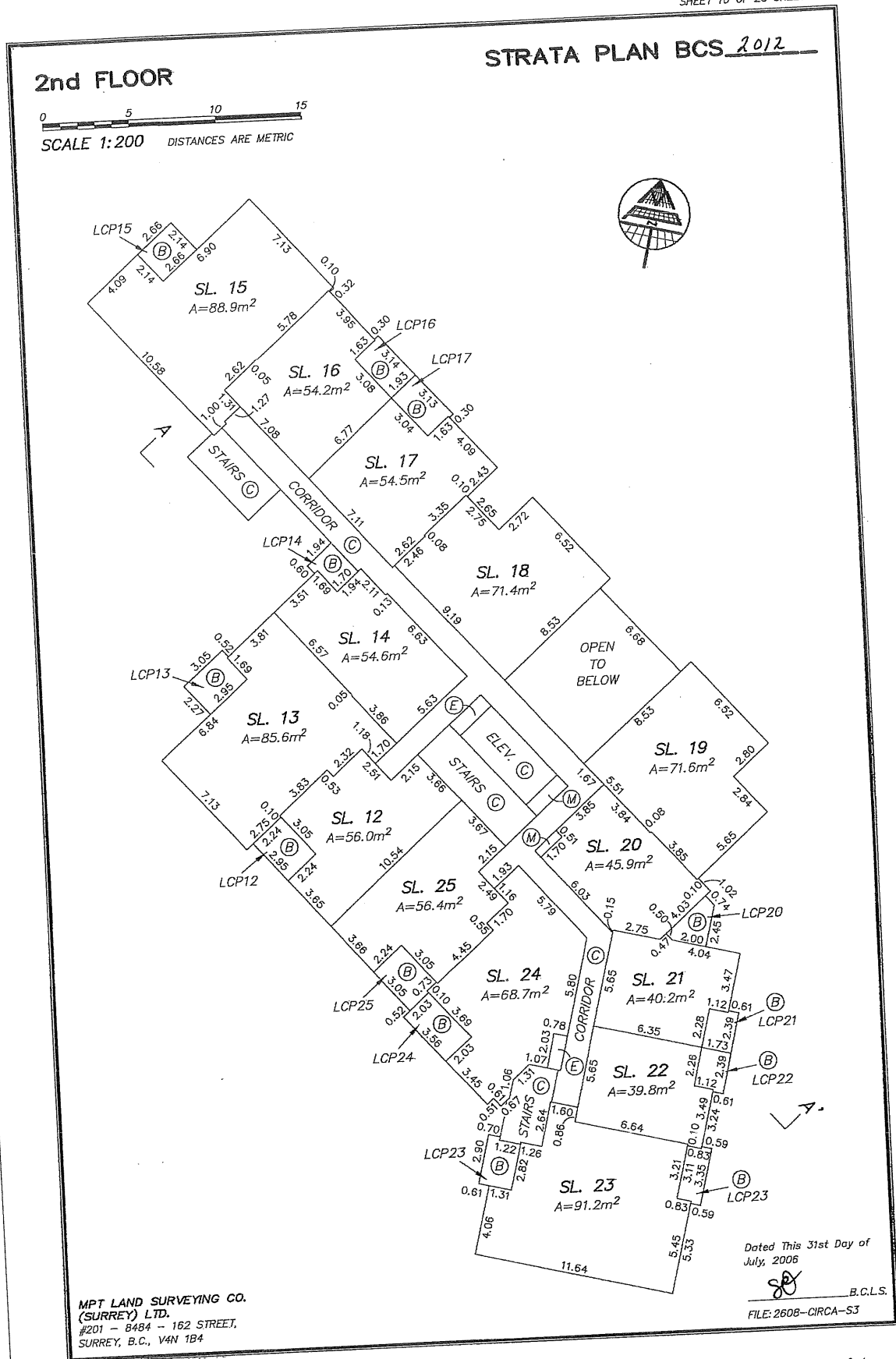
ORIGINAL

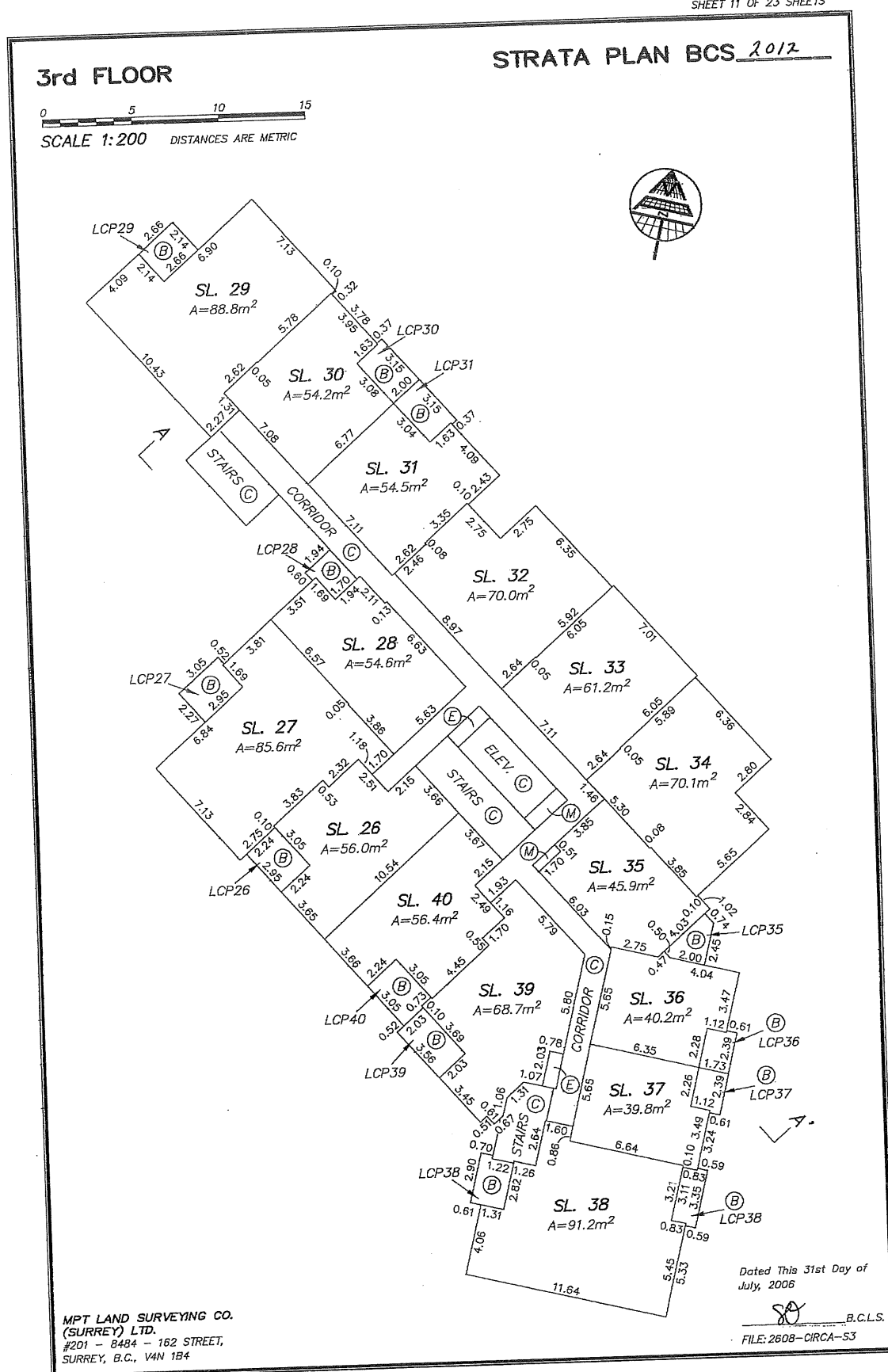
RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

SHEET 10 OF 23 SHEETS



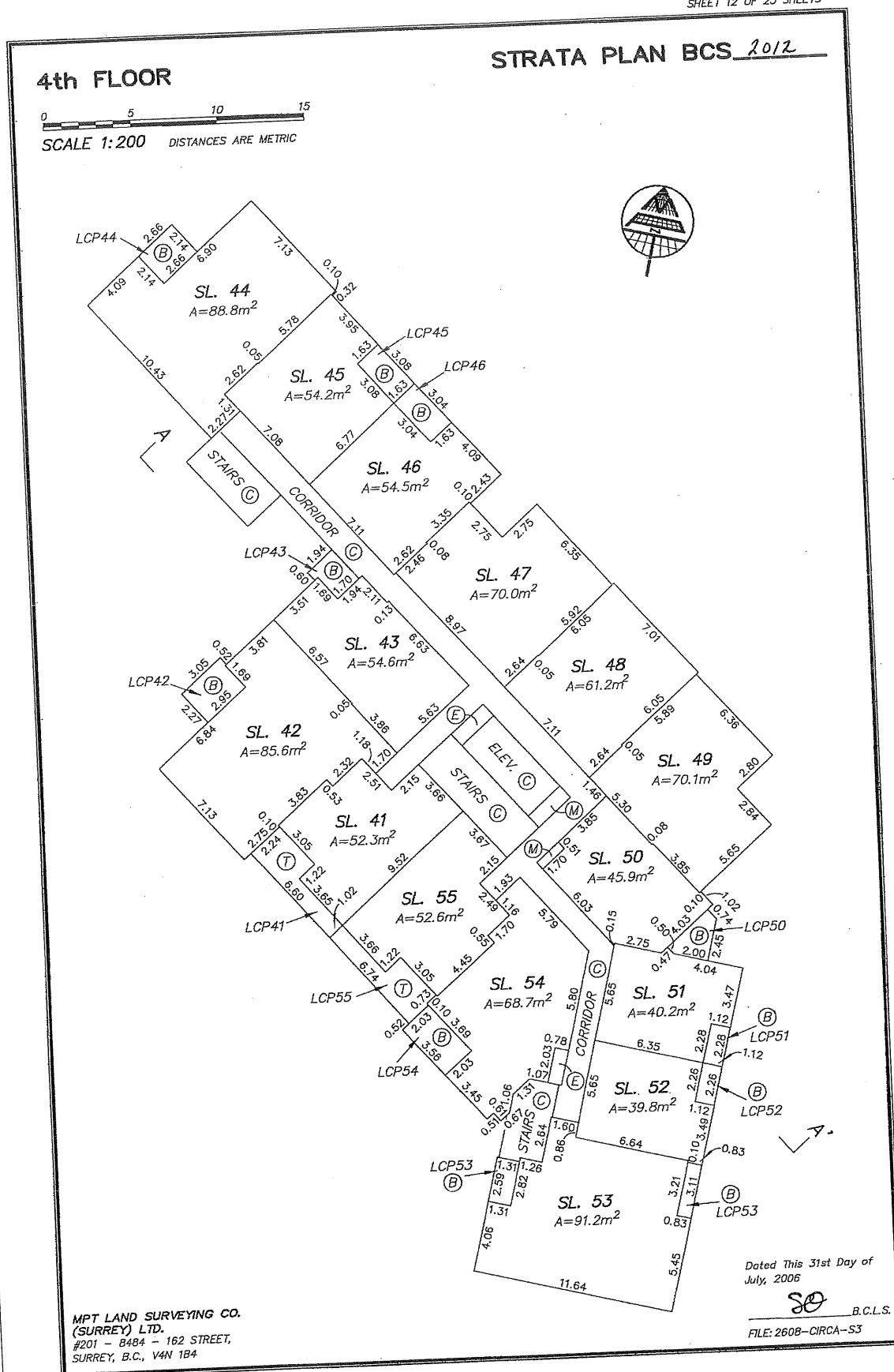


ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

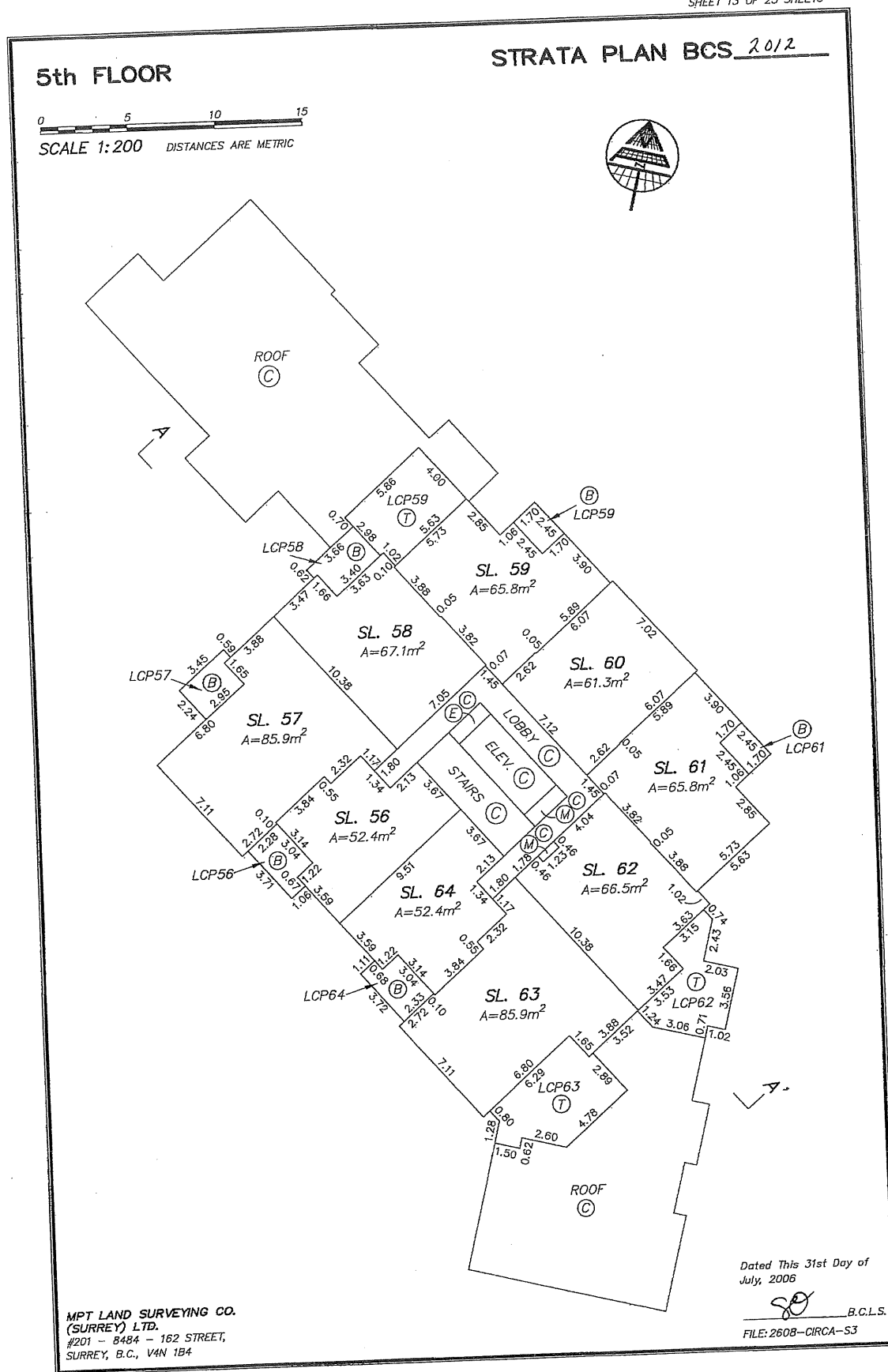


RCVD: 2006-09-06 RQST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

Status: Filed

SHEET 13 OF 23 SHEETS



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctl #: :

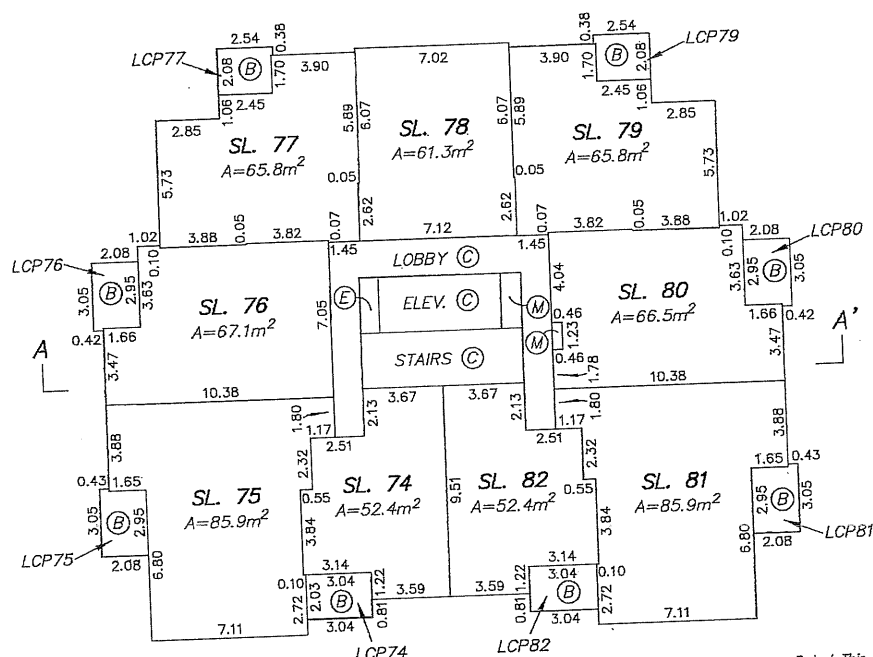
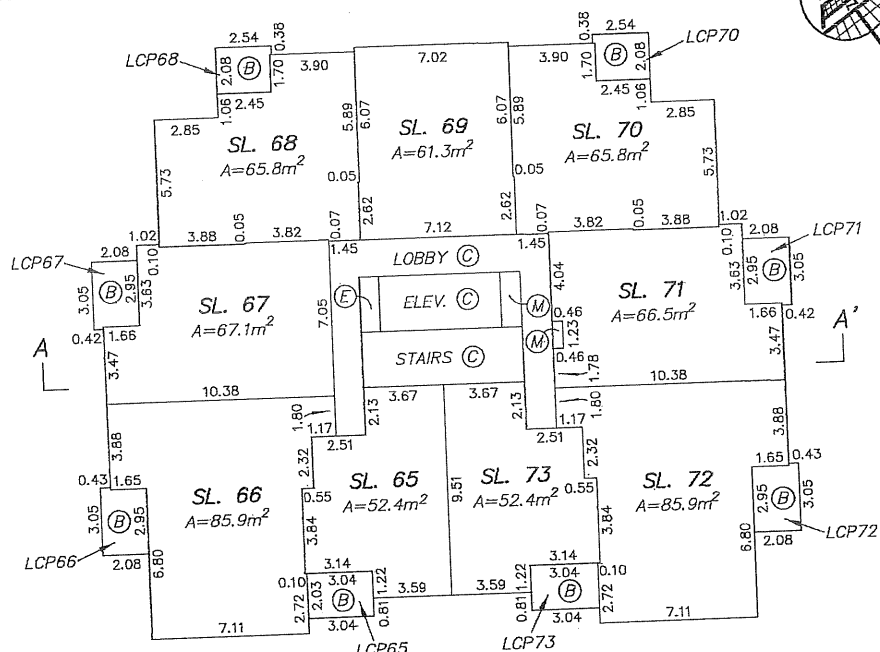
Status: Filed

SHEET 14 OF 23 SHEETS

FLOOR PLANS 6th & 7th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10.33

Plan #: BCS2012 App #: N/A Ctrl #:

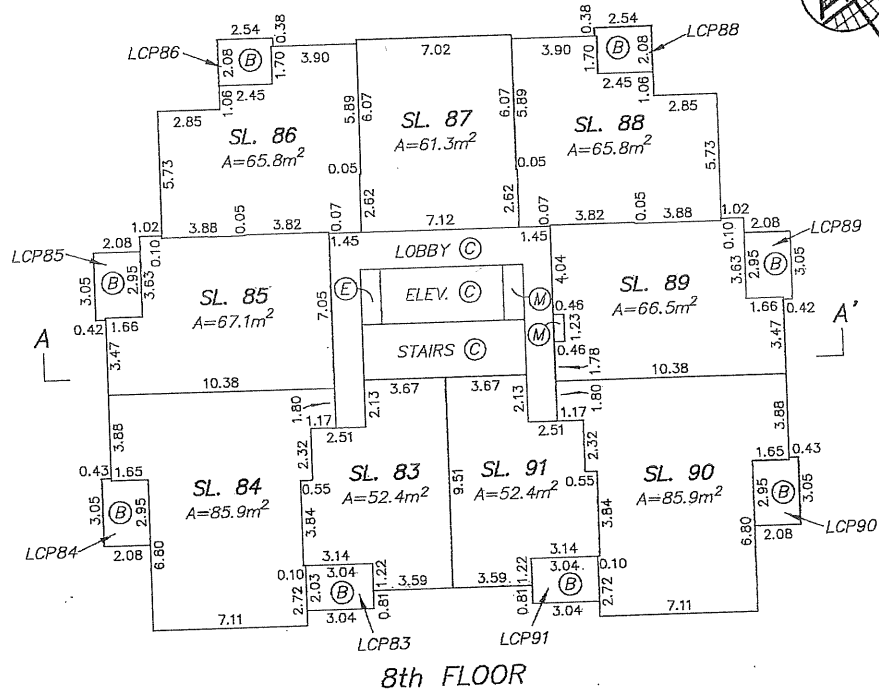
Status: Filed

SHEET 15 OF 23 SHEETS

FLOOR PLANS 8th & 9th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



RCVD: 2006-09-06 ROST: 2025-08-27 14.10.33

Plan #: BCS2012 App #: N/A Ctrl #:

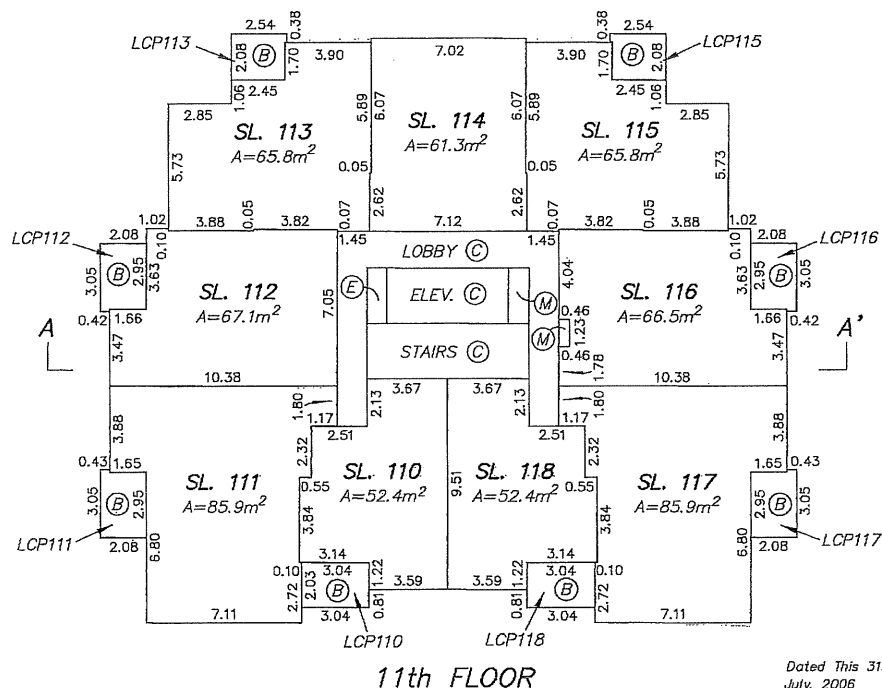
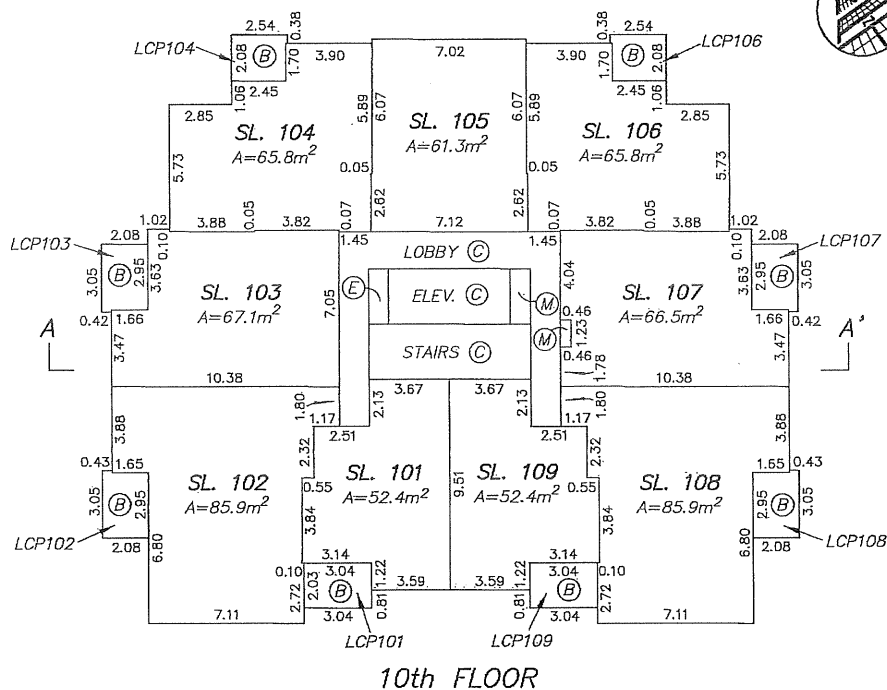
Status: Filed

SHEET 16 OF 23 SHEETS

FLOOR PLANS 10th & 11th


STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

 B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

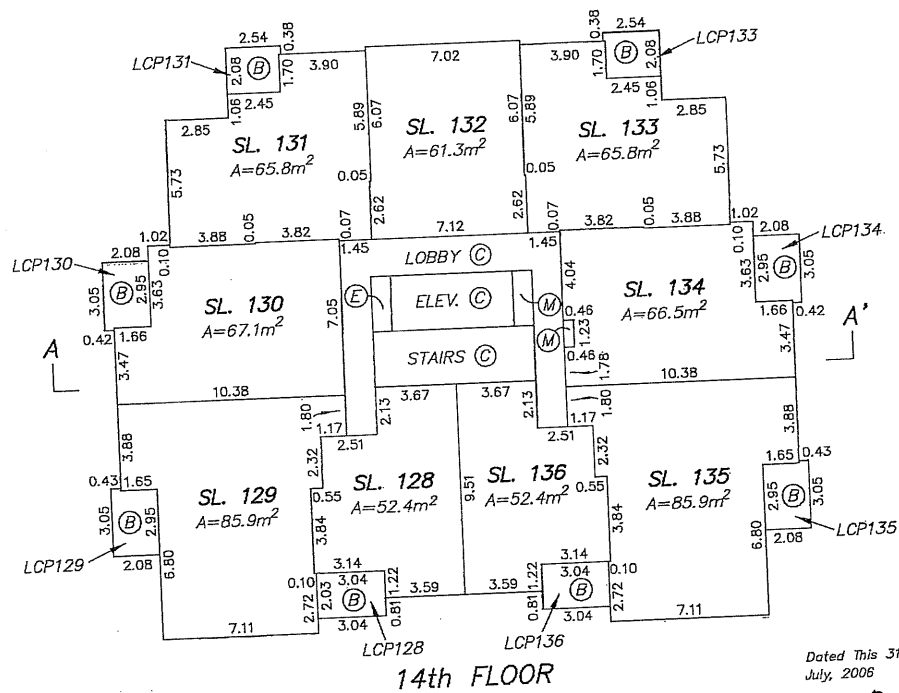
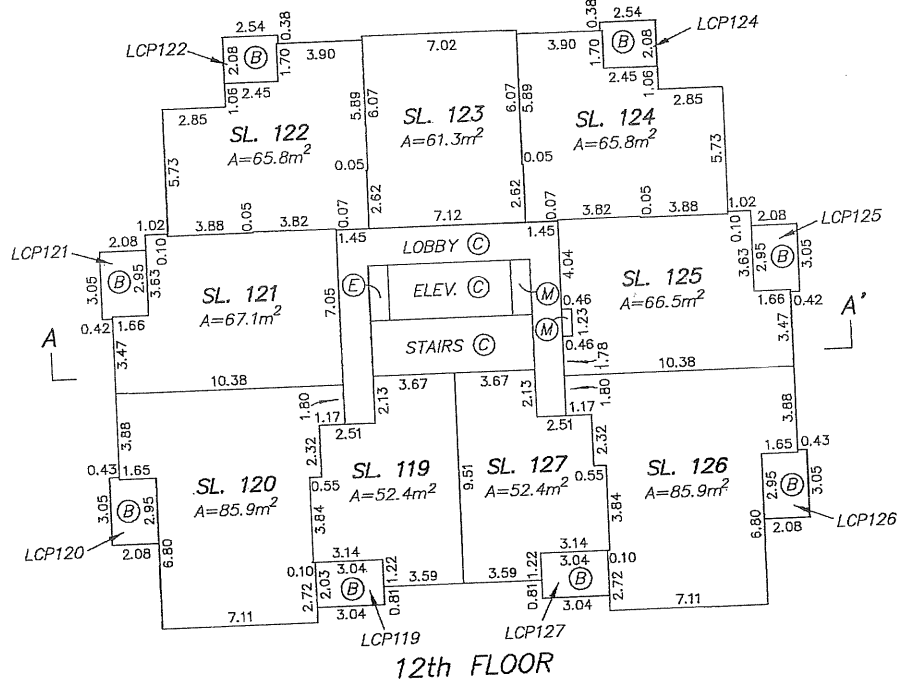
Status: Filed

SHEET 17 OF 23 SHEETS

FLOOR PLANS 12th & 14th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

NOTE: THE 13th FLOOR HAS BEEN OMITTED.

Dated This 31st Day of
July, 2006

FILE: 2608-CIRCA-S3
B.C.L.S.

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

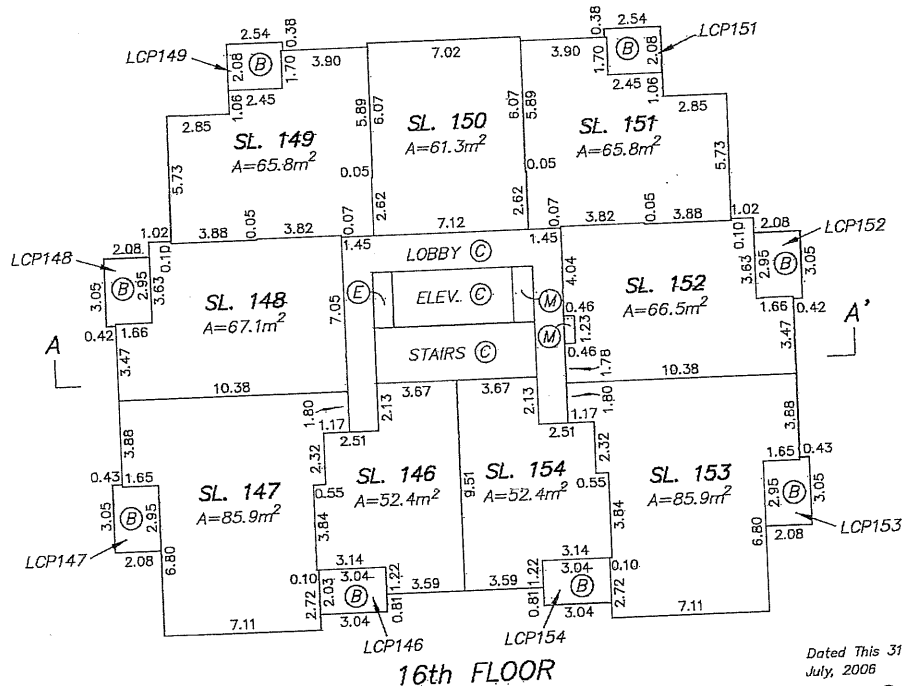
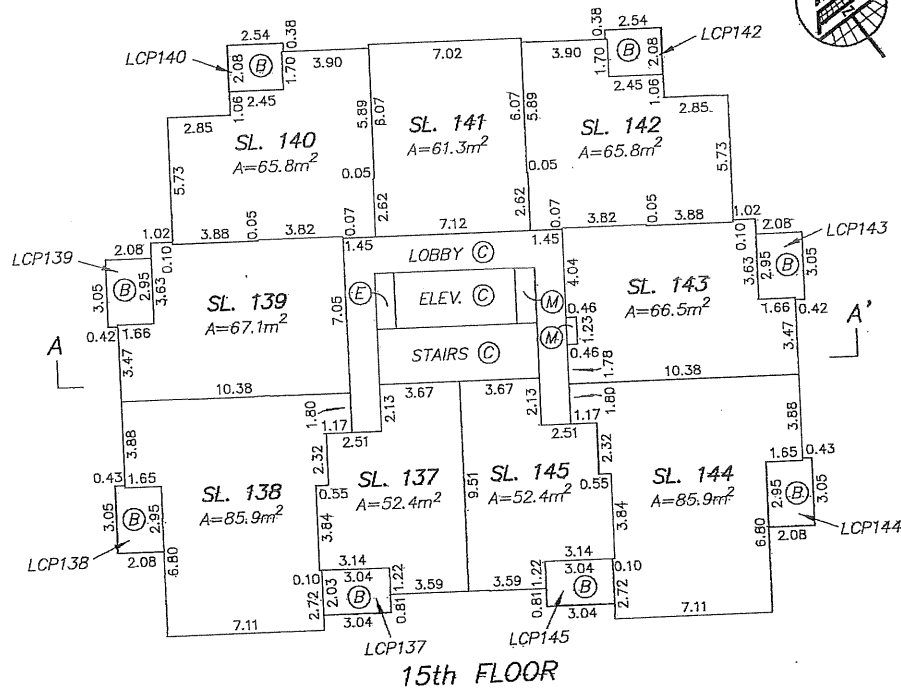
Status: Filed

SHEET 18 OF 23 SHEETS

FLOOR PLANS 15th & 16th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

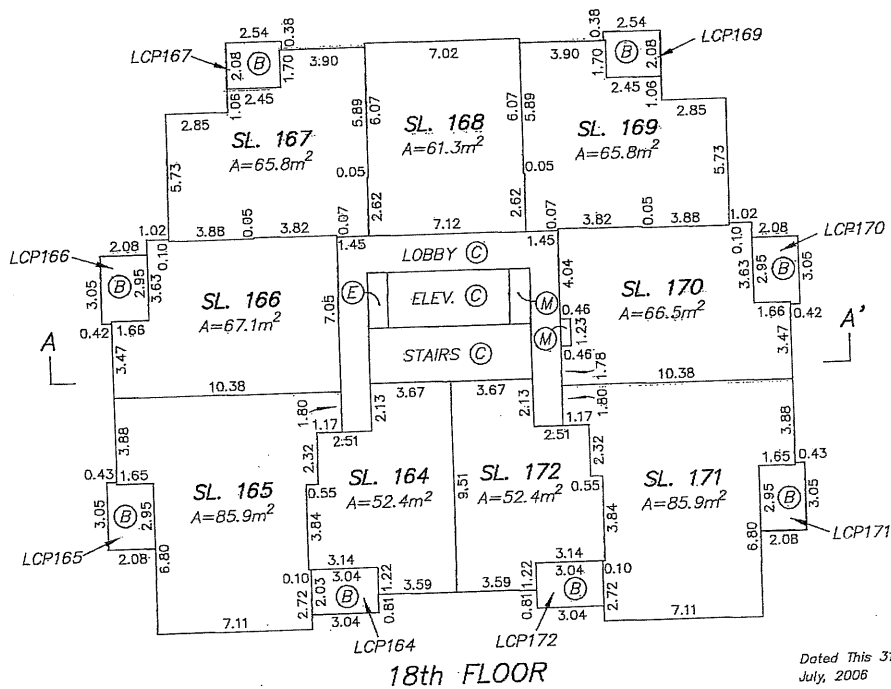
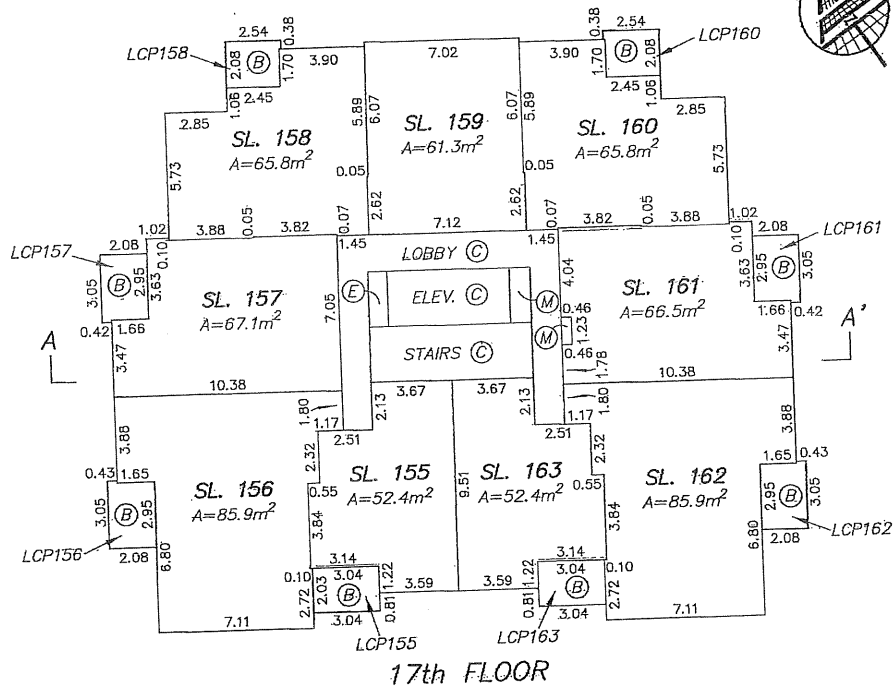
Status: Filed

SHEET 19 OF 23 SHEETS

FLOOR PLANS 17th & 18th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

80 B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

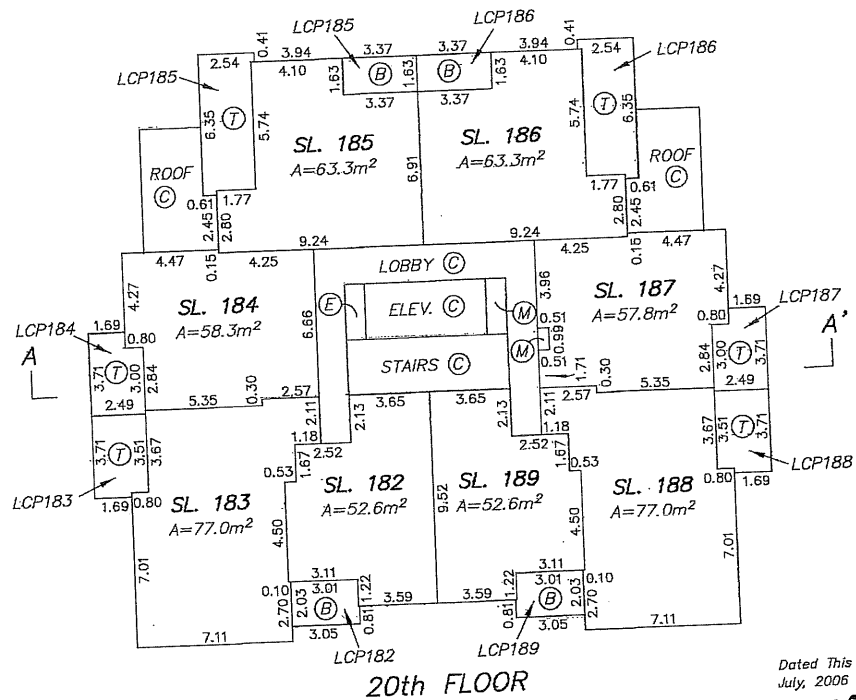
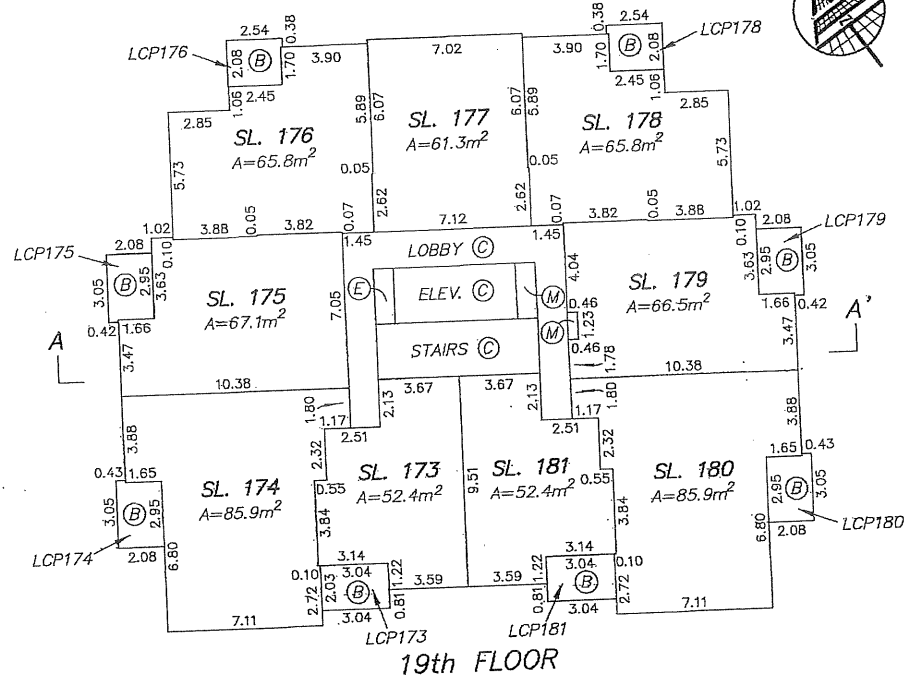
Status: Filed

SHEET 20 OF 23 SHEETS

FLOOR PLANS 19th & 20th

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

80 B.C.L.S.
FILE: 2608-CIRCA-S3

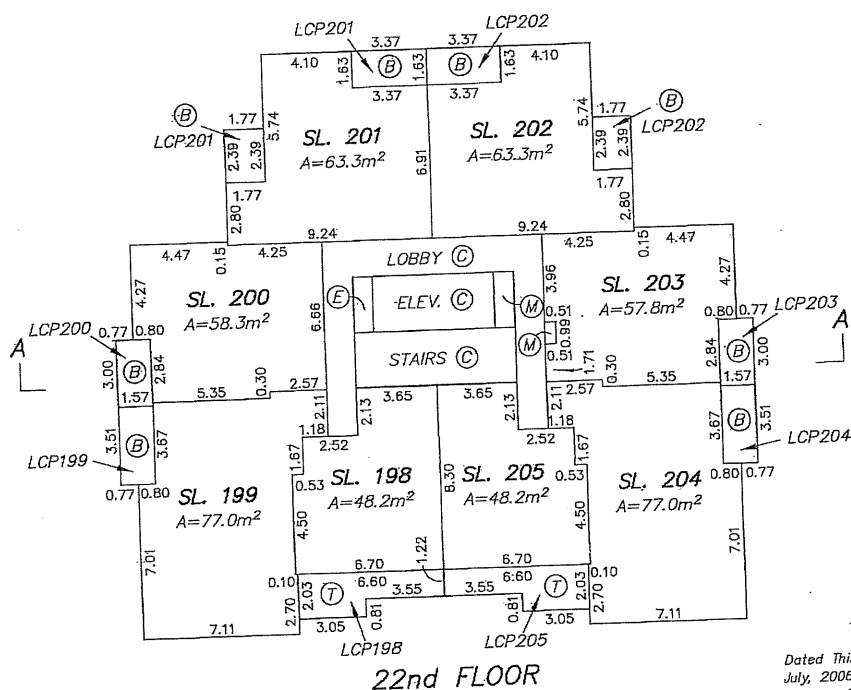
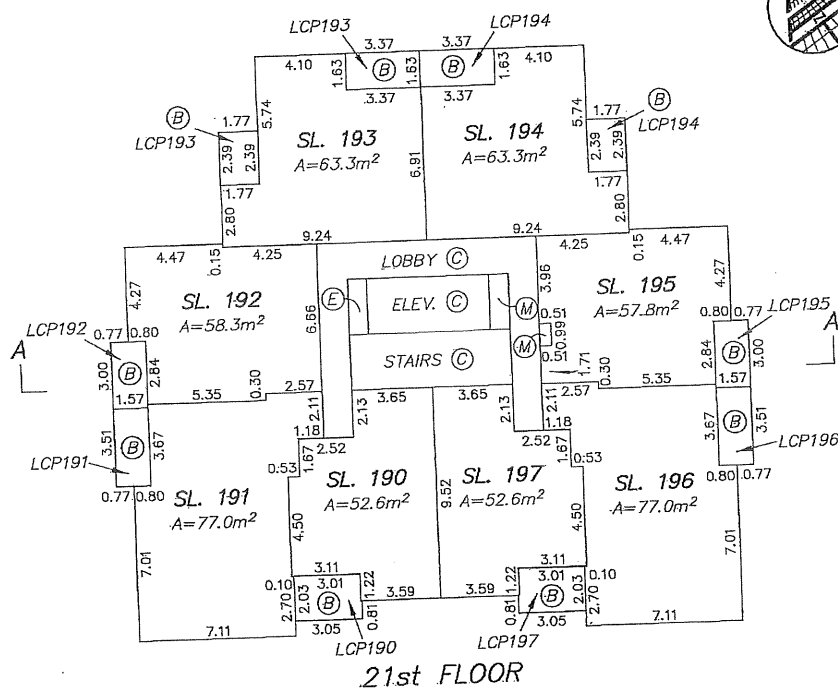
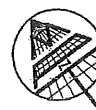
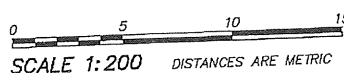
ORIGINAL

Plan #: BCS2012 App #: N/A Ctrl #:

FLOOR PLANS 21st & 22nd

STRATA PLAN BCS 2012

SHEET 21 OF 23 SHEETS



MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - 8484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

RCVD: 2006-09-06 RQST: 2025-08-27 14:10:33

Plan #: BCS2012 App #: N/A Ctrl #:

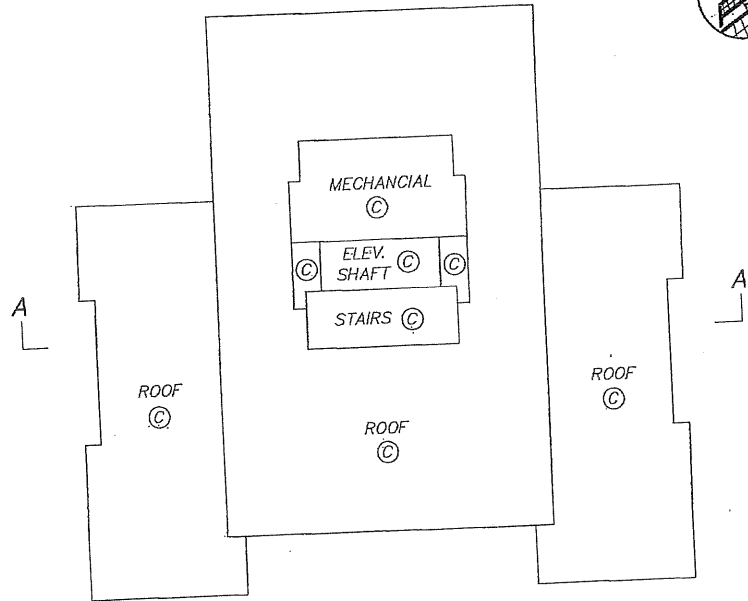
Status: Filed

SHEET 22 OF 23 SHEETS

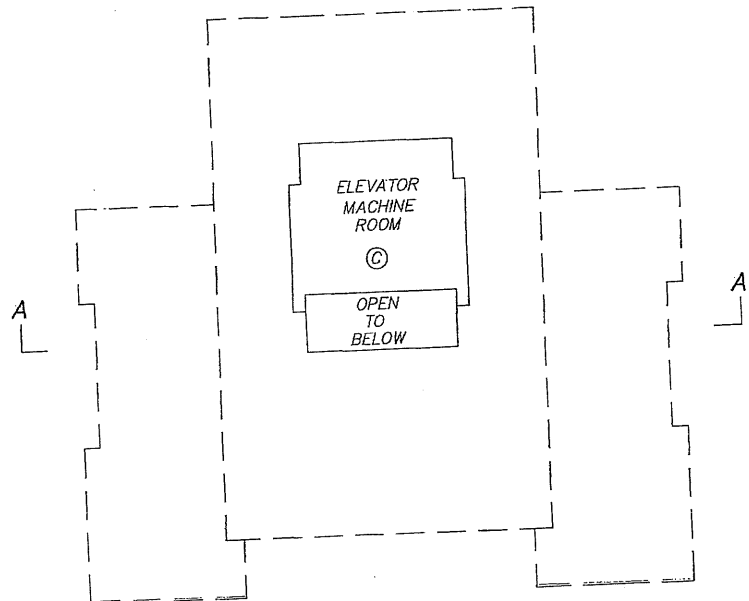
FLOOR PLANS

STRATA PLAN BCS 2012

0 5 10 15
SCALE 1:200 DISTANCES ARE METRIC



ROOF PLAN



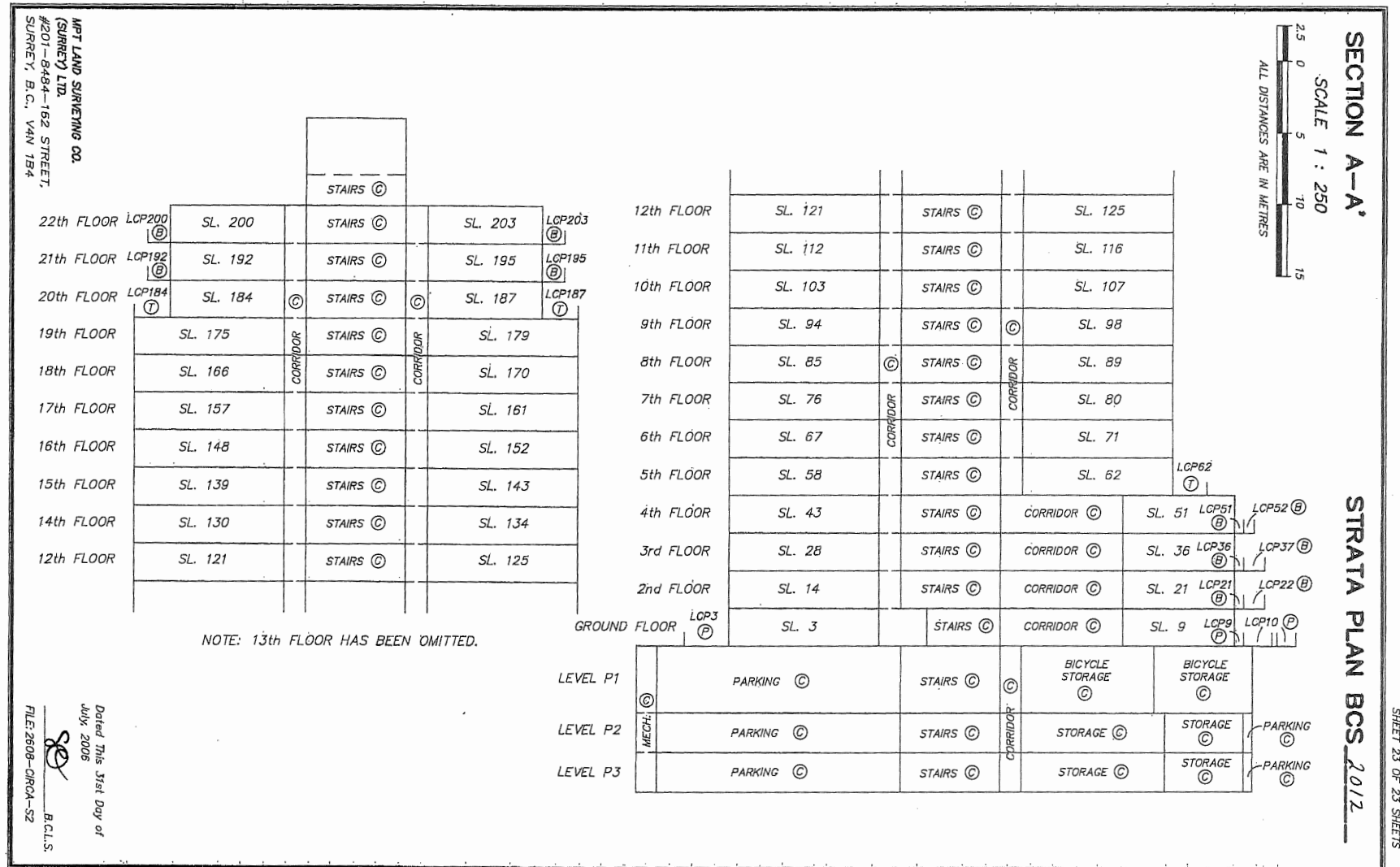
ELEVATOR MACHINE ROOM

MPT LAND SURVEYING CO.
(SURREY) LTD.
#201 - B484 - 162 STREET,
SURREY, B.C., V4N 1B4

Dated This 31st Day of
July, 2006

80 B.C.L.S.
FILE: 2608-CIRCA-S3

ORIGINAL

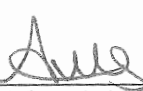


-6 SEP 2006 14 43

BA544555

REGISTRAR
LAND TITLE OFFICE
88 - 6TH STREET
NEW WESTMINSTER, B.C.
V3L 5B3

This is Exhibit "Q" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025



A Commissioner for taking Affidavits within British Columbia.

06/09/06 14:41:52 01 LH
FILE FREE

730193
\$0.00

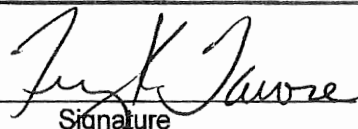
SURVEY DEPT.

Free

9/6/2006

PLEASE RECEIVE HERewith THE FOLLOWING DOCUMENT(S) FOR FILING:

Form V - Strata Plan MCS 2012


Signature

APPLICANT:

McCARTHY TETRAULT
BARRISTERS & SOLICITORS
1300 - 777 Dunsmuir Street
Vancouver, B.C.
V7Y 1K2

PHONE: 604 643-7100

FILE: 133930/348981

PACIFIC COAST TOTAL SOLUTIONS INC.

6/8

Strata Property Act
Form V
SCHEDULE OF UNIT ENTITLEMENT

(Section 245 (a), 246, 264)

Re: Strata Plan BCS 2012 being a strata plan of Lot C District Lot 36 Block 5 Group 1
N.W.D. Plan BCP10205

P.I.D. 025 894 897

STRATA PLAN CONSISTING ENTIRELY OF RESIDENTIAL STRATA LOTS

The unit entitlement for each residential strata lot is one of the following (check appropriate box), as set out in the following table:

- ☒ (a) the habitable area of the strata lot, in square metres, rounded to the nearest whole number as determined by a British Columbia land surveyor as set out in section 246 (3) (a) (i) of the *Strata Property Act*.

Certificate of British Columbia Land Surveyor

I, Shannon Onderwater, a British Columbia land surveyor, certify that the following table reflects the habitable area of each residential strata lot.

Date: July 31, 2006 (month, day, year).

Shannon Onderwater
Shannon Onderwater

OR

- ☐ (b) a whole number that is the same for all of the residential strata lots as set out in section 246 (3) (a) (ii) of the *Strata Property Act*.

OR

- ☐ (c) a number that is approved by the Superintendent of Real Estate in accordance with section 246 (3) (a) (iii) of the *Strata Property Act*.

.....
Signature of Superintendent of Real Estate

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
1	9	51.2	51	0.383
2	9	85.2	85	0.637
3	9	54.6	55	0.413
4	9	60.8	61	0.458
5	9	60.3	60	0.450
6	9	71.1	71	0.532
7	9	71.6	72	0.539
8	9	45.9	46	0.345
9	9	40.3	40	0.300
10	9	46.0	46	0.345
11	9	56.0	56	0.420
12	10	56.0	56	0.420
13	10	85.6	86	0.644
14	10	54.6	55	0.413
15	10	88.9	89	0.668
16	10	54.2	54	0.405
17	10	54.5	55	0.413
18	10	71.4	71	0.532
19	10	71.6	72	0.539
20	10	45.9	46	0.345
21	10	40.2	40	0.300
22	10	39.8	40	0.300
23	10	91.2	91	0.683
24	10	68.7	69	0.518
25	10	56.4	56	0.420
26	11	56.0	56	0.420
27	11	85.6	86	0.644
28	11	54.6	55	0.413
29	11	88.8	89	0.668
30	11	54.2	54	0.405
31	11	54.5	55	0.413
32	11	70.0	70	0.525
33	11	61.2	61	0.458
34	11	70.1	70	0.524
35	11	45.9	46	0.345
36	11	40.2	40	0.300
37	11	39.8	40	0.300
38	11	91.2	91	0.683
39	11	68.7	69	0.518
40	11	56.4	56	0.420
41	12	52.3	52	0.390
42	12	85.6	86	0.644
43	12	54.6	55	0.413
44	12	88.8	89	0.668
45	12	54.2	54	0.405
46	12	54.5	55	0.413
47	12	70.0	70	0.525
48	12	61.2	61	0.458

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
49	12	70.1	70	0.524
50	12	45.9	46	0.345
51	12	40.2	40	0.300
52	12	39.8	40	0.300
53	12	91.2	91	0.683
54	12	68.7	69	0.518
55	12	52.6	53	0.398
56	13	52.4	52	0.390
57	13	85.9	86	0.645
58	13	67.1	67	0.503
59	13	65.8	66	0.495
60	13	61.3	61	0.458
61	13	65.8	66	0.495
62	13	66.5	67	0.503
63	13	85.9	86	0.645
64	13	52.4	52	0.390
65	14	52.4	52	0.390
66	14	85.9	86	0.645
67	14	67.1	67	0.503
68	14	65.8	66	0.495
69	14	61.3	61	0.458
70	14	65.8	66	0.495
71	14	66.5	67	0.503
72	14	85.9	86	0.645
73	14	52.4	52	0.390
74	14	52.4	52	0.390
75	14	85.9	86	0.645
76	14	67.1	67	0.503
77	14	65.8	66	0.495
78	14	61.3	61	0.458
79	14	65.8	66	0.495
80	14	66.5	67	0.503
81	14	85.9	86	0.645
82	14	52.4	52	0.390
83	15	52.4	52	0.390
84	15	85.9	86	0.645
85	15	67.1	67	0.503
86	15	65.8	66	0.495
87	15	61.3	61	0.458
88	15	65.8	66	0.495
89	15	66.5	67	0.503
90	15	85.9	86	0.645
91	15	52.4	52	0.390
92	15	52.4	52	0.390
93	15	85.9	86	0.645
94	15	67.1	67	0.503
95	15	65.8	66	0.495
96	15	61.3	61	0.458
97	15	65.8	66	0.495

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
98	15	66.5	67	0.503
99	15	85.9	86	0.645
100	15	52.4	52	0.390
101	16	52.4	52	0.390
102	16	85.9	86	0.645
103	16	67.1	67	0.503
104	16	65.8	66	0.495
105	16	61.3	61	0.458
106	16	65.8	66	0.495
107	16	66.5	67	0.503
108	16	85.9	86	0.645
109	16	52.4	52	0.390
110	16	52.4	52	0.390
111	16	85.9	86	0.645
112	16	67.1	67	0.503
113	16	65.8	66	0.495
114	16	61.3	61	0.458
115	16	65.8	66	0.495
116	16	66.5	67	0.503
117	16	85.9	86	0.645
118	16	52.4	52	0.390
119	17	52.4	52	0.390
120	17	85.9	86	0.645
121	17	67.1	67	0.503
122	17	65.8	66	0.495
123	17	61.3	61	0.458
124	17	65.8	66	0.495
125	17	66.5	67	0.503
126	17	85.9	86	0.645
127	17	52.4	52	0.390
128	17	52.4	52	0.390
129	17	85.9	86	0.645
130	17	67.1	67	0.503
131	17	65.8	66	0.495
132	17	61.3	61	0.458
133	17	65.8	66	0.495
134	17	66.5	67	0.503
135	17	85.9	86	0.645
136	17	52.4	52	0.390
137	18	52.4	52	0.390
138	18	85.9	86	0.645
139	18	67.1	67	0.503
140	18	65.8	66	0.495
141	18	61.3	61	0.458
142	18	65.8	66	0.495
143	18	66.5	67	0.503
144	18	85.9	86	0.645
145	18	52.4	52	0.390
146	18	52.4	52	0.390

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
147	18	85.9	86	0.645
148	18	67.1	67	0.503
149	18	65.8	66	0.495
150	18	61.3	61	0.458
151	18	65.8	66	0.495
152	18	66.5	67	0.503
153	18	85.9	86	0.645
154	18	52.4	52	0.390
155	19	52.4	52	0.390
156	19	85.9	86	0.645
157	19	67.1	67	0.503
158	19	65.8	66	0.495
159	19	61.3	61	0.458
160	19	65.8	66	0.495
161	19	66.5	67	0.503
162	19	85.9	86	0.645
163	19	52.4	52	0.390
164	19	52.4	52	0.390
165	19	85.9	86	0.645
166	19	67.1	67	0.503
167	19	65.8	66	0.495
168	19	61.3	61	0.458
169	19	65.8	66	0.495
170	19	66.5	67	0.503
171	19	85.9	86	0.645
172	19	52.4	52	0.390
173	20	52.4	52	0.390
174	20	85.9	86	0.645
175	20	67.1	67	0.503
176	20	65.8	66	0.495
177	20	61.3	61	0.458
178	20	65.8	66	0.495
179	20	66.5	67	0.503
180	20	85.9	86	0.645
181	20	52.4	52	0.390
182	20	52.6	53	0.398
183	20	77.0	77	0.577
184	20	58.3	58	0.435
185	20	63.3	63	0.473
186	20	63.3	63	0.473
187	20	57.8	58	0.435
188	20	77.0	77	0.577
189	20	52.6	53	0.398
190	21	52.6	53	0.398
191	21	77.0	77	0.577
192	21	58.3	58	0.435
193	21	63.3	63	0.473
194	21	63.3	63	0.473
195	21	57.8	58	0.435

Strata Lot No.	Sheet No.	Habitable Area in m ²	Unit Entitlement	%* of Total Unit Entitlement**
196	21	77.0	77	0.577
197	21	52.6	53	0.398
198	21	48.2	48	0.360
199	21	77.0	77	0.577
200	21	58.3	58	0.435
201	21	63.3	63	0.473
202	21	63.3	63	0.473
203	21	57.8	58	0.435
204	21	77.0	77	0.577
205	21	48.2	48	0.360
Total number of lots: 205			Total unit entitlement: 13330	100.000

* expression of percentage is for informational purposes only and has no legal effect
** not required for a phase of a phased strata plan

Date: August 9, 2006 (month, day, year) /

Daniel Rodman
Signature of Owner Developer

Vancouver, B.C.

Date: September 6, 2006

Registrar
Lower Mainland Land Title Office
New Westminster, B.C.

Please receive herewith the following document(s) for filing:

Form V – Strata Plan BCS _____



Jacqueline Leung
Real Property Paralegal
McCarthy Tétrault LLP
Barristers and Solicitors
1300 – 777 Dunsmuir Street
Vancouver, B.C. V7Y 1K2
(604) 643-7100

(LTO Client No. 010452)



City of Vancouver *Zoning and Development By-law*

Community Services, 453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7344 fax 604.873.7060
 planning@vancouver.ca

This is Exhibit "R" referred to in the affidavit of Tetsu Takagaki affirmed before me at Vancouver, British Columbia, this 17 day of September, 2025

A Commissioner for taking Affidavits within British Columbia.

CD-1 (314)

3400-3600 Vanness, Foster and Euclid Streets

By-law No. 7204

(Being a By-law to Amend By-law 3575, being the Zoning and Development By-law)

Effective November 2, 1993

(Amended up to and including By-law No. 9674, dated June 24, 2008)

Guidelines:

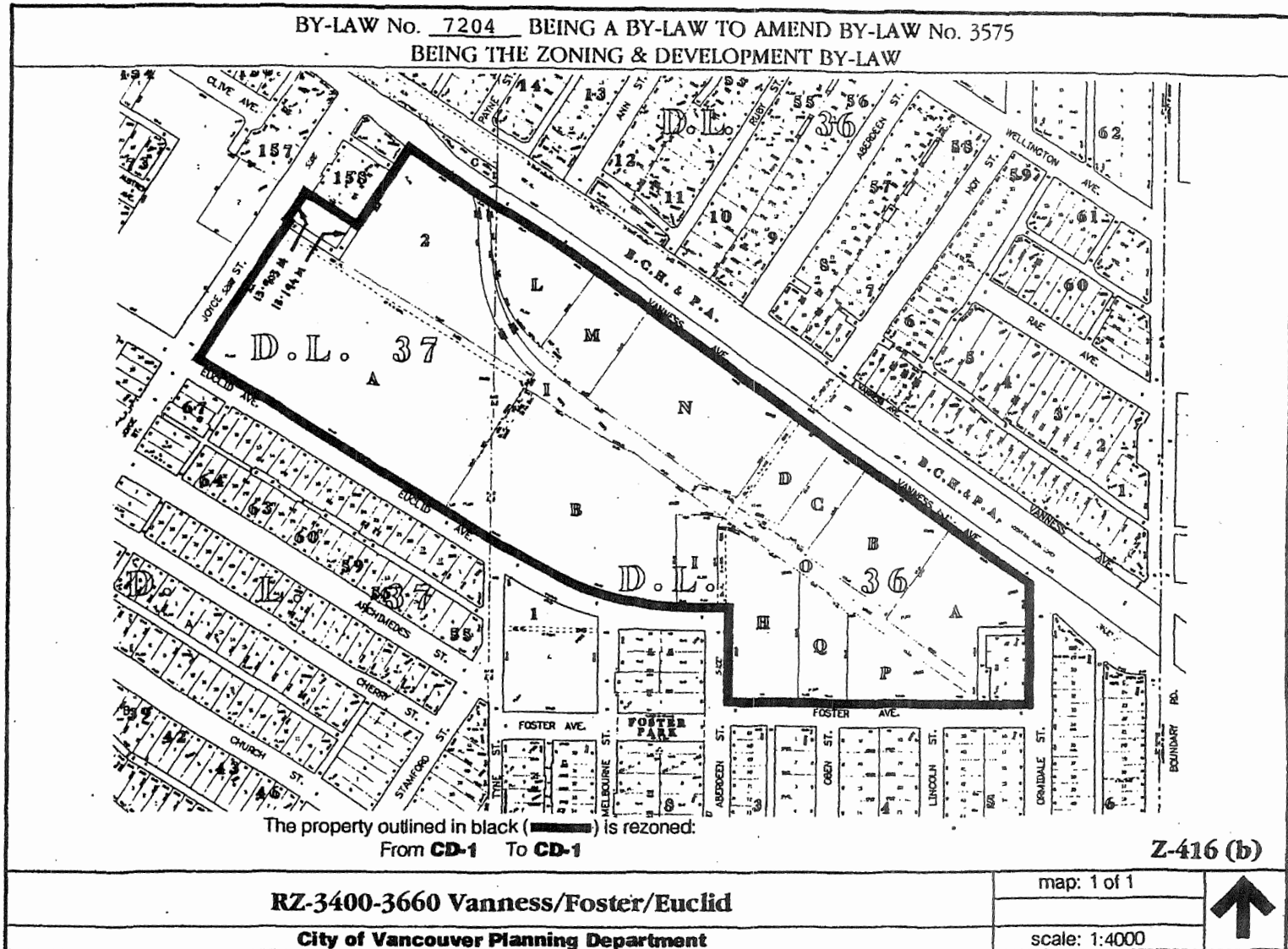
Joyce/Vanness

CD-1 Guidelines

- 1** *[Section 1 is not reprinted here. It contains a Standard clause amending Schedule D (Zoning District Plan) to reflect this rezoning to CD-1, and repeals By-law No. 7203.]*
- 2** In this By-law:
- “City Engineer” means the person who from time to time is appointed by the Council to be the City Engineer, and his Deputy.
- “Council” means the Council of the City of Vancouver.
- “Director of Legal Services” means the person who from time to time is appointed by the Council to be the Director of Legal Services, and his Deputy.
- “Director of Planning” means the person who from time to time is appointed by the Council to be the Director of Planning, and his Deputy.
- “General Manager of the Board of Parks and Recreation” is the person who from time to time is appointed by the Board of Parks and Recreation to be the General Manager of the Board of Parks and Recreation, and any person authorized by that Board to carry out the duties of the General Manager.
- 3** The area shown included within the heavy black outline on Schedule “A” is rezoned pursuant to Section 565(l)(f) of the **Vancouver Charter** and shall be more particularly described as CD-1(314).
- 4** This by-law is enacted on the fundamental basis that the Development Plan hereunto annexed as Schedule “B”, and each of its provisions, will be complied with, the soils within the lands will be remediated to all applicable statutory standards, and the amenities, facilities, utilities, services and land described in Schedule “C” will be provided at no cost to the City.
- 5** The Development Plan is an integral part of this By-law. Each and every provision contained in this By-law is necessary and interdependent, so that, if any provision is quashed or declared to be unlawful, or of no force or effect, such provision will not be severable and in such case Council desires the entire by-law including section 1(b) be quashed with the result that CD-1 (314) shall be zoned pursuant to By-law No. 7203.
- 6** Nothing in this by-law or the Development Plan fetters the discretion or authority bestowed upon the Approving Officer, and any applicant for subdivision is bound by a decision of the Approving Officer and is required to fulfill any condition he may impose as a condition of approval.
- 7** The amenities, facilities, utilities, services and land therefor described in Schedule “C” or security therefor as prescribed by the Director of Legal Services, shall be provided to the City at no cost to the City on or before the time set for completion set forth beside each individually described work.
- 8** The only uses permitted within CD-1 (314) and the only uses for which development permits may be issued, are those set forth in section 3 of the Development Plan, subject to the form, location and any special characteristics being in conformity with the Development Plan and applicable policies and guidelines adopted by Council, and subject to such other conditions not inconsistent therewith which the Development Permit Board in its discretion may prescribe.
- 9** Any person wishing to carry out any development in CD-1 (314) shall submit such plans and specifications as may be required by the Director of Planning and obtain the approval of the Development Permit Board or the Director of Planning, as the case may be.

Note: *Information included in square brackets [] identifies the by-law numbers and dates for the amendments to By-law No. 7204 or provides an explanatory note.*

- 10** Subject to section 6 of this By-law, the Development Permit Board may exercise the discretion to approve or reject any form of development for which application is made and to exercise the discretion to issue or withhold any Development Permit.
- 11** The Development Permit Board shall not approve any form of development or issue any Development Permit:
- (a) unless the form of development complies with the Development Plan and any applicable policies or guidelines adopted by Council;
 - (b) until the City has been provided with those amenities, facilities, utilities, services and land which, by Schedule "C", are scheduled to be provided prior to the development of the land in respect of which the application for a Development Permit has been made, or until an agreement, or agreements, satisfactory to the City Engineer and the Director of Legal Services are entered into ensuring the provision of those amenities, facilities, utilities, services and land therefor. The amenities, facilities, services and utilities shall be constructed to the specifications established by the City Engineer and shall not be considered to have been provided until Accepted by the City Engineer. Land provided to the City shall be remediated to a standard established by the City Engineer, or in the case of land for parks, by the General Manager of the Board of Parks and Recreation, and shall not be considered to have been provided until so remediated. Prior to commencing construction of any amenity, facility, service or utility, the applicant for the Development Permit shall provide such warranties, security and indemnities in respect of the construction of the works as the City Engineer and the Director of Legal Services may require. At the time of providing any land to the City, the applicant for the development permit shall provide such indemnity with respect to liability for damage caused by contamination on or flowing from such land, both before and after its provision, as may be required by the Director of Legal Services; and
 - (c) until the soils within the applicable Phase as defined in the Development Plan, together with surrounding soils which contaminate or could contaminate the soils within the site, have been remediated to all applicable statutory standards, or an agreement to remediate, with provisions for security and indemnity satisfactory to the City Engineer and the Director of Legal Services, has been entered into providing for soils remediation.
- 12** Any development permit issued shall contain such conditions as the Development Permit Board shall lawfully require pursuant to subsections (b) and (d) of Section 565A of the **Vancouver Charter**.
- 13** That hereunto annexed as Schedule "B" is the Development Plan which regulates the use and development of the property within CD-1(314). Any person using or developing property within the District shall comply with that Plan.
- 14** Except for matters otherwise specifically provided for in this By-law all provisions of By-law No. 3575 apply to the area governed by this By-law.
- 15** *[Section 15 is not reprinted here. It contains a standard clause including the Mayor and City Clerk's signature to pass the by-law and certify the by-law number and date of enactment.]*



**This is Schedule "B" to
By-law No. 7204**

**Development Plan
of CD-1 (314)**

The Development Plan contains the regulations for the development of the Comprehensive Development District known as CD-1 (314).

Any application for development or use must comply with the Development Plan, generally as illustrated in Figures 1 and 2.

1 Intent

The intent of this Development Plan is to permit the development of the Collingwood Village site with residential use and some local retail, office and service uses in a form which complements and is compatible with the character of adjacent areas.

Development on the site shall be consistent with the following objectives:

- (a) achieve a built form which is complementary to the form of adjacent areas and yet creates its own special character and sense of place;
- (b) provide retail, service and office uses primarily along Joyce Street and integrate new development with existing development;
- (c) minimize loss of important views;
- (d) achieve the maximum number of housing units, consistent with the principles of livability and other social and environmental objectives;
- (e) achieve a diversity of population in terms of age, household types and income groups;
- (f) develop adequate community and recreation facilities to primarily serve the residents of Collingwood Village and the adjacent community, but which also serves to integrate Collingwood Village with the adjacent community;
- (g) provide adequate on-site parking and loading spaces for all developments within Collingwood Village;
- (h) provide an open space system and local parks which meet local recreational needs and provide visual enjoyment for residents and visitors;
- (i) provide pedestrian links to adjacent areas; and
- (j) allow for the gradual phasing out of the existing industrial uses.

2 Definitions

Words used in this Development Plan shall have the meaning assigned to them in the Zoning and Development By-law, except as provided below.

Community Gymnasium means a gymnasium with facilities for community use.

Interim Use means any use not specifically listed in this By-law and intended to be of only temporary duration.

3 Uses

The only uses for which development permits will be issued are:

- (a) A maximum of 2,800 dwelling units, not exceeding 192 000 m² in total gross floor area, provided in multiple dwellings or in conjunction with any of the uses listed below, provided that:
 - (i) a minimum of 20 percent of the units (including the family rental units provided under clause (ii) below) shall be for family housing, of which each two-bedroom dwelling unit shall have a minimum gross floor area of 74 m² and each three-bedroom dwelling unit shall have a minimum gross floor area of 90 m²; and

- (ii) a minimum of 20 percent of the units shall be for rental use only, secured by an agreement acceptable to the City, and of these rental units a minimum of 20 percent shall be for family housing. [8340; 01 06 05]
 - (b) Retail Uses, but not including Furniture or Appliance Store, Gasoline Station - Full Serve, Gasoline Station - Split Island, Liquor Store, Vehicle Dealer and Service Bay;
 - (c) Service Uses, but not including Auction Hall, Bed and Breakfast Accommodation, Body Rub Parlour, Cabaret, Catering Establishment, Drive-Through Service, Funeral Home, Hotel, Laboratory, Laundry or Cleaning Plant, Motor Vehicle Repair Shop, Motor Vehicle Wash, Photofinishing or Photography Laboratory, Production Studio, Repair Shop - Class A, Restaurant - Class 2, Restaurant Drive-In, and Sign Painting Shop;
 - (d) Office Uses;
 - (e) Cultural and Recreational Uses, but not including Arcade, Golf Course or Driving Range, Marina, Riding Ring, Rink, Stadium or Arena, Swimming Pool, Theatre, and Zoo or Botanical Garden;
 - (f) Institutional Uses, but not including Ambulance Station, Church, Detoxification Centre, Hospital, and School - University or College;
 - (g) Public Utility;
 - (h) Parking Uses;
 - (i) Seniors Supportive or Assisted Housing;
 - (j) Accessory Uses customarily ancillary to the above uses; and
 - (k) Interim Uses not listed above and Accessory Uses customarily ancillary thereto, provided that:
 - (i) the Development Permit Board considers that the use will be compatible with and not adversely affect adjacent development that either exists or is permitted by this By-law;
 - (ii) the Development Permit Board is satisfied that the use can be easily removed, and is of low intensity or low in capital investment;
 - (iii) the Development Permit Board is satisfied that there is no risk to the public from contaminated soils either on or adjacent to the subject site; and
 - (iv) development permits are limited in time to periods not exceeding 3 years.
- [8824; 04 04 06]

4 Phases

- 4.1 The development shall take place in four phases, approximately as illustrated in Figure 3.
- 4.2 The phases shall be developed sequentially in numerical order commencing with Phase 1 and ending with Phase 4. As long as the prescribed order is maintained, one or more phases may be developed at the same time, provided that this Development Plan and Schedule "C" to the By-law are complied with.

5 Sub-areas

The district shall comprise 10 sub-areas, approximately as illustrated in Figure 4.

6 Subdivision

Approximate parcel boundaries and areas are indicated on Figure 5. The parcel boundaries and areas are approximate and subject to being finalized by survey at the time of subdivision.

7 Floor Area and Density

- 7.1 The total floor area for uses listed in Table 1 shall not exceed the totals set opposite such uses, and any use permitted in section 3, but not listed in Table 1, is not limited by this sub-section 7.1.

Table 1

Use	Maximum Floor Area
Residential Uses	192 000 m ²
Retail, Service and Office Uses	1 200 m ²
Office, Cultural, Recreational and Institutional Uses*	1 395 m ²
Neighbourhood House	930 m ²
Community Gymnasium	740 m ²
Child Day Care Facility	650 m ²
School - Elementary	2 320 m ²

[8340; 01 06 05] [8824; 04 04 06]

* Note: This additional 1 395 m² of community service space is to be made available to social and community service organizations only.

7.2 The following shall be included in the computation of floor area:

- (a) all floors; having a minimum ceiling height of 1.2 m, including earthen floor, both above and below ground level, to be measured to the extreme outer limits of the building; and
- (b) stairways, fire escapes, elevator shafts and other features which the Director of Planning considers similar, to be measured by their gross cross-sectional areas and included in the measurements for each floor at which they are located.

7.3 The following shall be excluded in the computation of floor area:

- (a) open residential balconies or sun decks and any other appurtenances which, in the opinion of the Director of Planning, are similar to the foregoing, provided that the total area of all exclusions does not exceed 8 percent of the residential floor area being provided;
- (b) patios and roof gardens for residential purposes only, provided that the Director of Planning first approves the design of sunroofs and walls;
- (c) where floors are used for off-street parking and loading, bicycle storage, heating and mechanical equipment, or uses which in the opinion of the Director of Planning, are similar to the foregoing, those floors or portions thereof so used which are at or below the base surface;
- (d) amenity areas, accessory to a residential use, recreation facilities, and meeting rooms, to a maximum total of 10 percent of the total building floor area;
- (e) areas of undeveloped floors located above the highest storey or half-storey, or adjacent to a storey or half-storey, with a ceiling height of less than 1.2 m, and to which there is no permanent means of access other than a hatch; and
- (f) all residential storage space above or below base surface, except that if the residential storage space above base surface exceeds 3.7 m² per dwelling unit, there will be no exclusion for any of the residential storage space above base surface for that unit; [8760; 03 12 09]
- (g) where exterior walls greater than 152 mm in thickness have been recommended by a Building Envelope Professional as defined in the Building By-law, the area of the walls exceeding 152 mm, but to a maximum exclusion of 152 mm thickness, except that this clause shall not apply to walls in existence prior to March 14, 2000. [8169; 00 03 14]

7.4 The Director of Planning may permit the following to be excluded in the computation of floor area:

- (a) enclosed residential balconies, provided that the Director of Planning first considers all applicable policies and guidelines adopted by Council and approves the design of any balcony enclosure subject to the following:

- (i) the total area of all open and enclosed balcony or sundeck exclusions does not exceed eight percent of the residential floor area being provided; and
- (ii) no more than fifty percent of the excluded balcony floor area may be enclosed. [7512; 96 01 11]
- (b) interior public space, including atria and other similar spaces, provided that:
 - (i) the excluded area shall not exceed the lesser of 10 percent of the permitted floor area or 604 m²;
 - (ii) the excluded area shall be secured by covenant and right of way in favour of the City of Vancouver which set out public access and use; and
 - (iii) the Director of Planning first considers all applicable policies and guidelines adopted by Council.

7.5 The total floor area in each sub-area for the uses listed in Table 2 shall not exceed the applicable totals set opposite such uses, and any use permitted by section 3 but not listed in Table 2 is not limited by this sub-section 7.5.

Table 2 - Maximum Floor Area (in square metres)

Use	1	2	3	4	5	6	7	8	9	10
Residential Uses	34 000	14 600	N/A	20 100	N/A	18 300	39 100	22 600	N/A	43 300
Retail, Service and Office uses	N/A	1 200	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Office, Cultural, Recreational, and Institutional Uses*	N/A	1 395	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Neighbourhood House	N/A	930	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Community Gymnasium	N/A	740	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Child Day Care Facility	N/A	650	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
School - Elementary	N/A	2 320	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

[8340; 01 06 05] [8824; 04 04 06]

* Note: This additional 1 395 m² of community service space is to be made available to social and community and service organizations only.

7.6 Despite sub-section 7.5, the Development Permit Board may permit an increase in the maximum floor area for residential uses of 5% in each of sub-areas 7, 8 and 10 but the aggregate maximum floor area for all sub-areas must not exceed 192 000 m². [8340; 01 06 05] [8824; 04 04 06]

7.7 The maximum number of units in each sub-area shall be as set out in Table 3.

Table 3 - Maximum Number of Dwelling Units

Use	1	2	3	4	5	6	7	8	9	10
Maximum Number of Units	475	258	N/A	282	N/A	255	515	338	N/A	647

[8340; 01 06 05]

7.8 Notwithstanding section 7.7, the Development Permit Board may permit an increase in the maximum number of residential units by 5 percent in each sub-area, provided that the development total does not exceed 2,800 units.

8 Height

The maximum building height measured above the base surface, but excluding the mechanical penthouse and roof, shall be as set out in Table 4.

Table 4 - Maximum Height (in metres)

Use	1	2	3	4	5	6	7	8	9	10
Maximum Height	56	48	N/A	56	N/A	53	51	67	N/A	72

[8340; 01 06 05]

9 Residential Component

9.1 Any development which combines residential with any other use shall have separate and distinct means of pedestrian access to the residential component from streets and on-site parking.

9.2 Private, semi-private, and public outdoor spaces shall be clearly separated and distinguished from each other.

10 Parking

Off-street parking shall be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law, except as follows:

- (a) multiple dwelling uses shall provide a minimum of one space for each 250 m² of gross residential floor area plus 0.75 space for each dwelling unit;
- (b) seniors supportive or assisted housing use shall provide
 - (i) a minimum of 1 space for each 100 m² of gross floor area for each residential unit consisting of less than 50 m² of gross floor area,
 - (ii) a minimum of 1 space for each 70 m² of gross floor area for each residential unit consisting of 50 m² or more and less than 70 m² of gross floor area,
 - (iii) a minimum of 1 space for each 70 m² of gross floor area for each residential unit consisting of 70 m² or more of gross floor area, except that no more than 2.2 spaces for each dwelling unit need be provided,
 - (iv) passenger space requirements for Community Care Facility - Class B, and [9674; 08 06 24]
 - (v) a minimum of two disability spaces, and, after the first 30 spaces, a minimum of one disability space for every 15 off-street parking spaces. [8340; 01 06 05]
- (c) cultural, recreational and institutional uses shall provide parking as determined by the Director of Planning, in consultation with the City Engineer. [7717; 97 03 25] [8824; 04 04 06]

11 Loading

Off-street loading shall be provided, developed and maintained in accordance with the applicable provisions of the Parking By-law, except that one loading bay shall be provided for every 200 dwelling units.

12 Acoustics

All development permit applications shall require evidence in the form of a report and recommendations prepared by a person trained in acoustics and current techniques of noise measurement demonstrating that the noise levels in those portions of the dwelling units listed below shall not exceed the noise level set opposite such portions. For the purposes of this section the noise level is the A-weighted 24-hour equivalent (Leq) sound level and will be defined simply as noise level in decibels.

Portions of dwelling units	Noise levels (Decibels)
bedrooms	35
living, dining, recreation rooms	40
kitchen, bathrooms, hallways	45

[7515; 96 01 11]

**This is Schedule "C" to
By-law No. 7204**

**Development Plan
of CD-1 (314)**

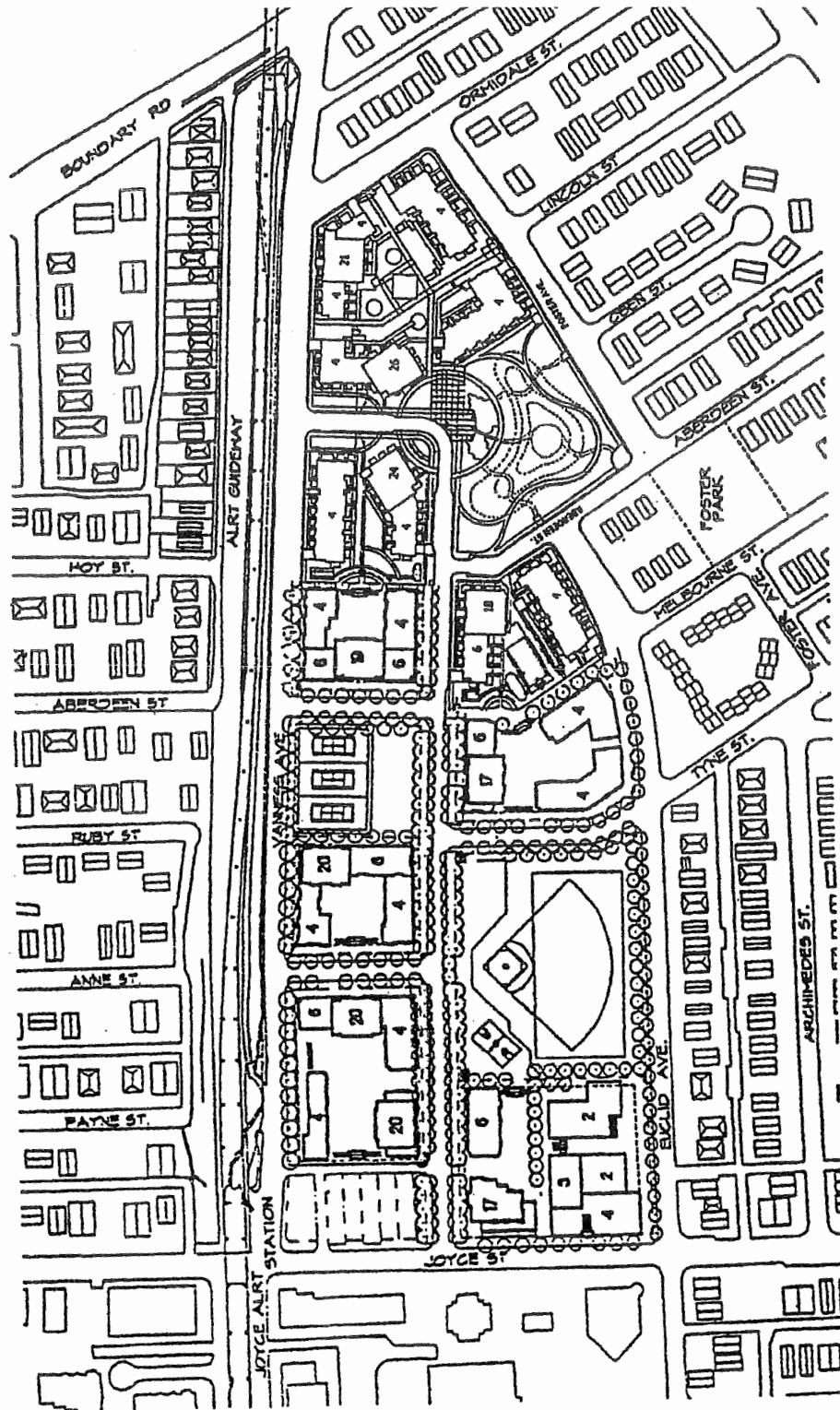
1

Intent

The following schedule sets forth the amenities, facilities, utilities, services and land (hereinafter referred to as infrastructure), to be provided to the City, together with the time at which each item is to be provided.

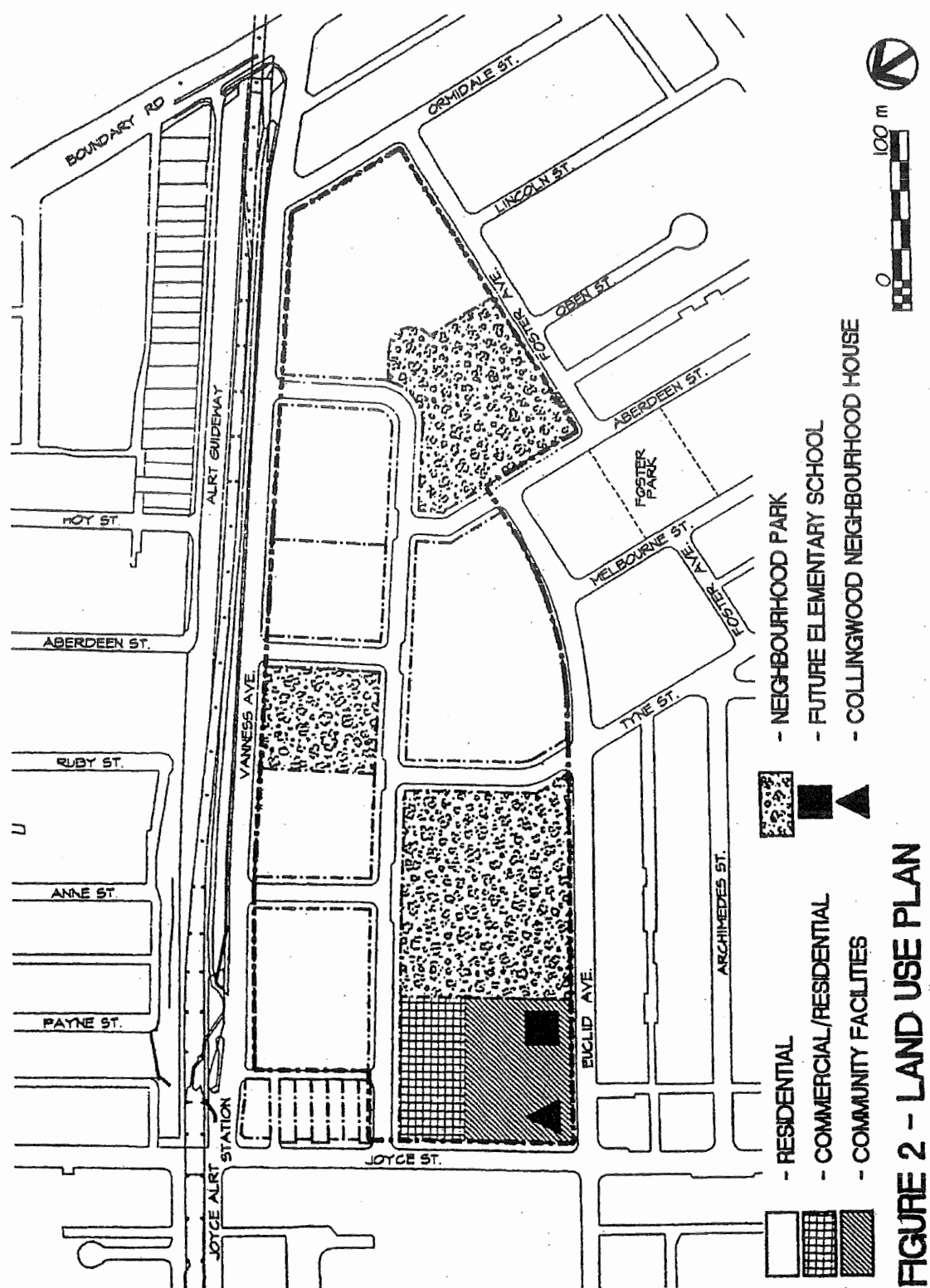
Item of Infrastructure	Time for Provision
<p><i>Phase 2</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipes, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 2, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p> <p>The land for a park, generally as shown in Figure 7 to the Development Plan, and improvements, satisfactory to the General Manager of Parks and Recreation.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 2.</p>

Item of Infrastructure	Time for Provision
<p><i>Phase 3</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipers, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 3, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 3.</p>
<p><i>Phase 4</i></p> <p>A street system, satisfactory to the City Engineer, generally in accordance with Figure 6 to the Development Plan.</p> <p>A pedestrian pathway system satisfactory to the City Engineer, generally in accordance with Figure 8 to the Development Plan.</p> <p>A system of watermains, pipers, valves, hydrants, meters and other appliances necessary for the distribution of water to service Phase 4, satisfactory to the City Engineer.</p> <p>A system of sewerage and drainage including all necessary appliances and equipment therefor.</p> <p>Utilities, such as B.C. Tel, B.C. Hydro, Cable, B.C. Gas, to service the site, satisfactory to the City Engineer.</p> <p>The land for a park, generally as shown in Figure 7 to the Development Plan, and improvements, satisfactory to the General Manager of Parks and Recreation.</p>	<p>In accordance with an agreement to provide such infrastructure, entered into prior to any application to develop pursuant to the Development Plan or prior to subdivision of Phase 3.</p>



• building heights are stated as number of storeys

FIGURE 1 – ILLUSTRATIVE SITE PLAN



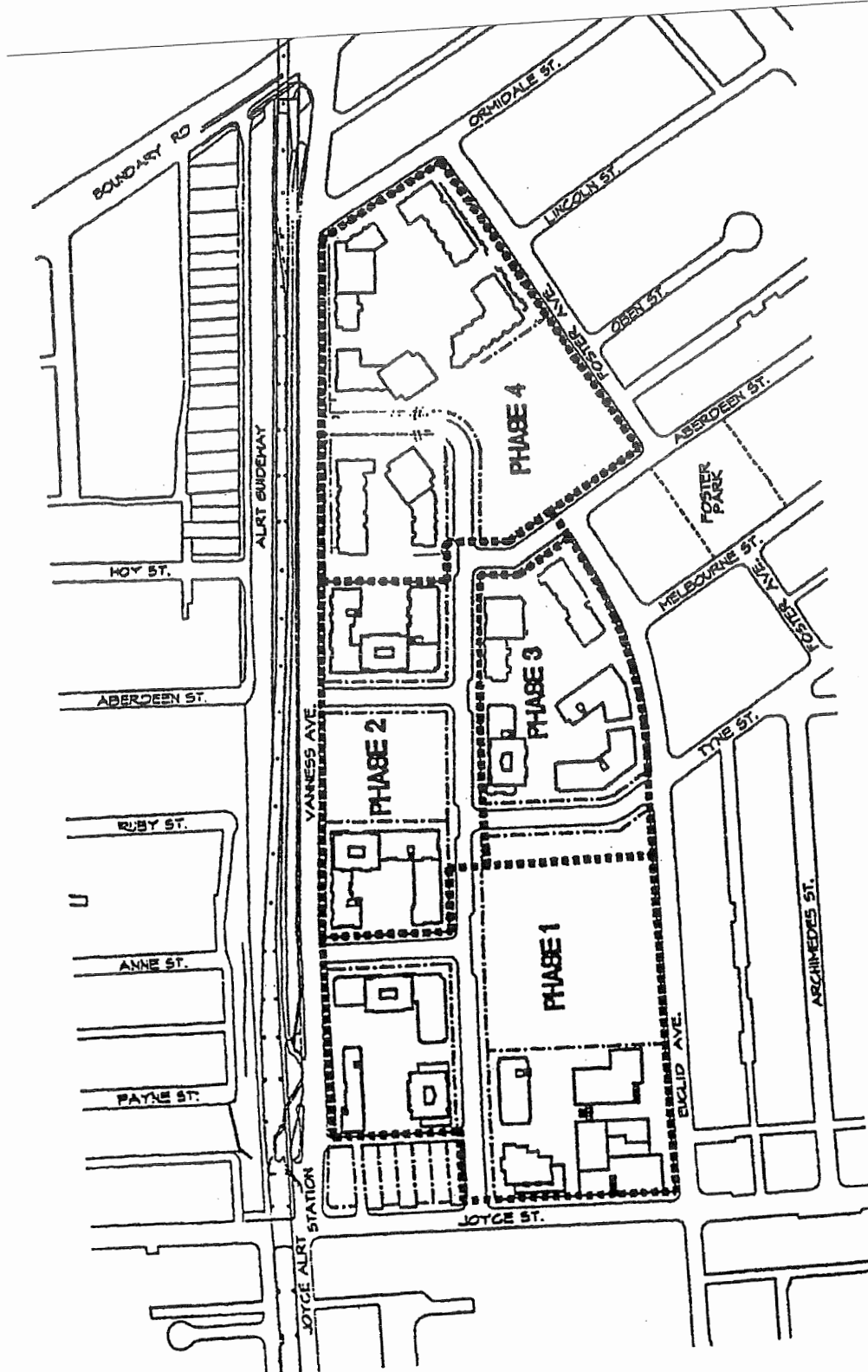


FIGURE 3- PHASING PLAN

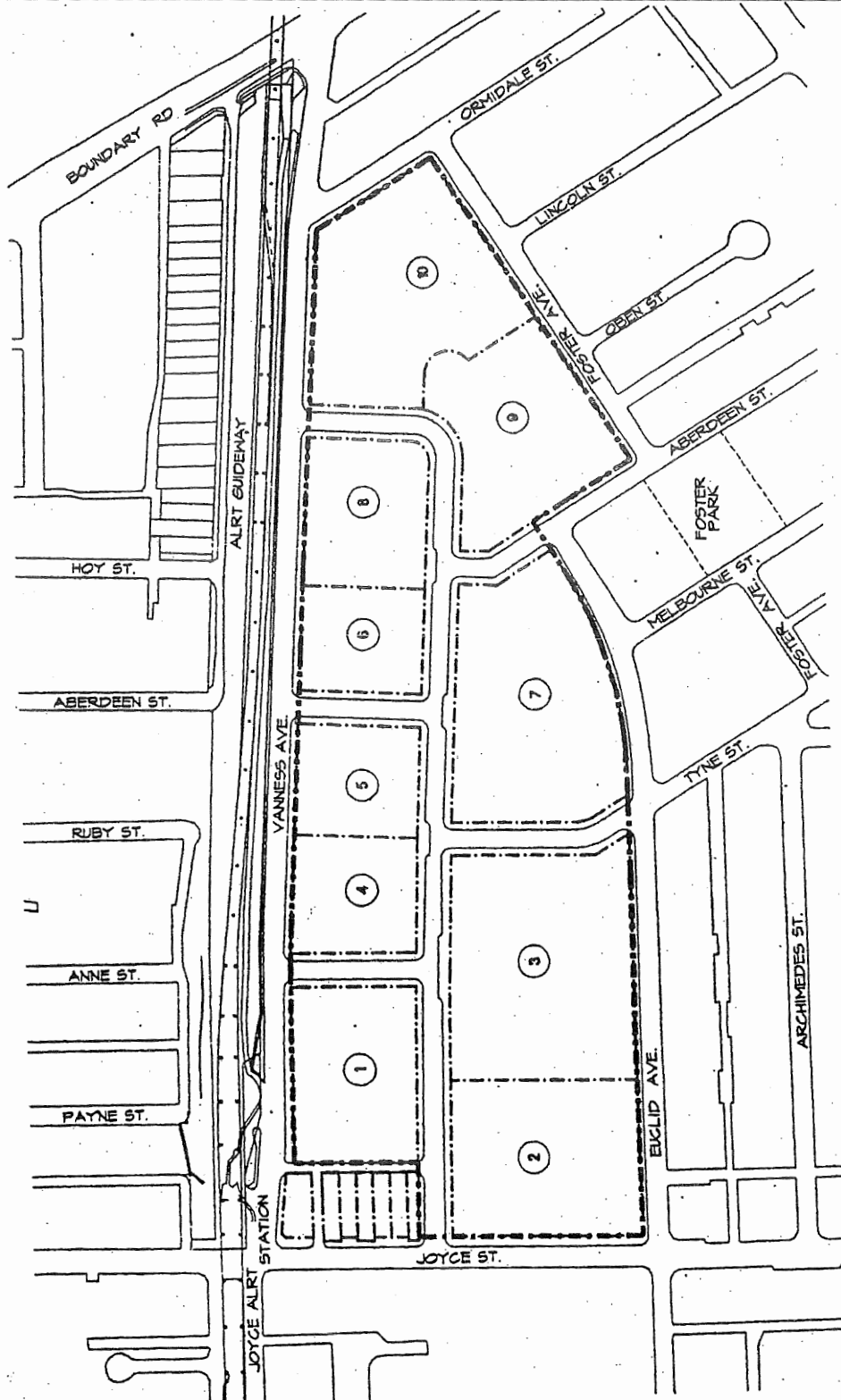
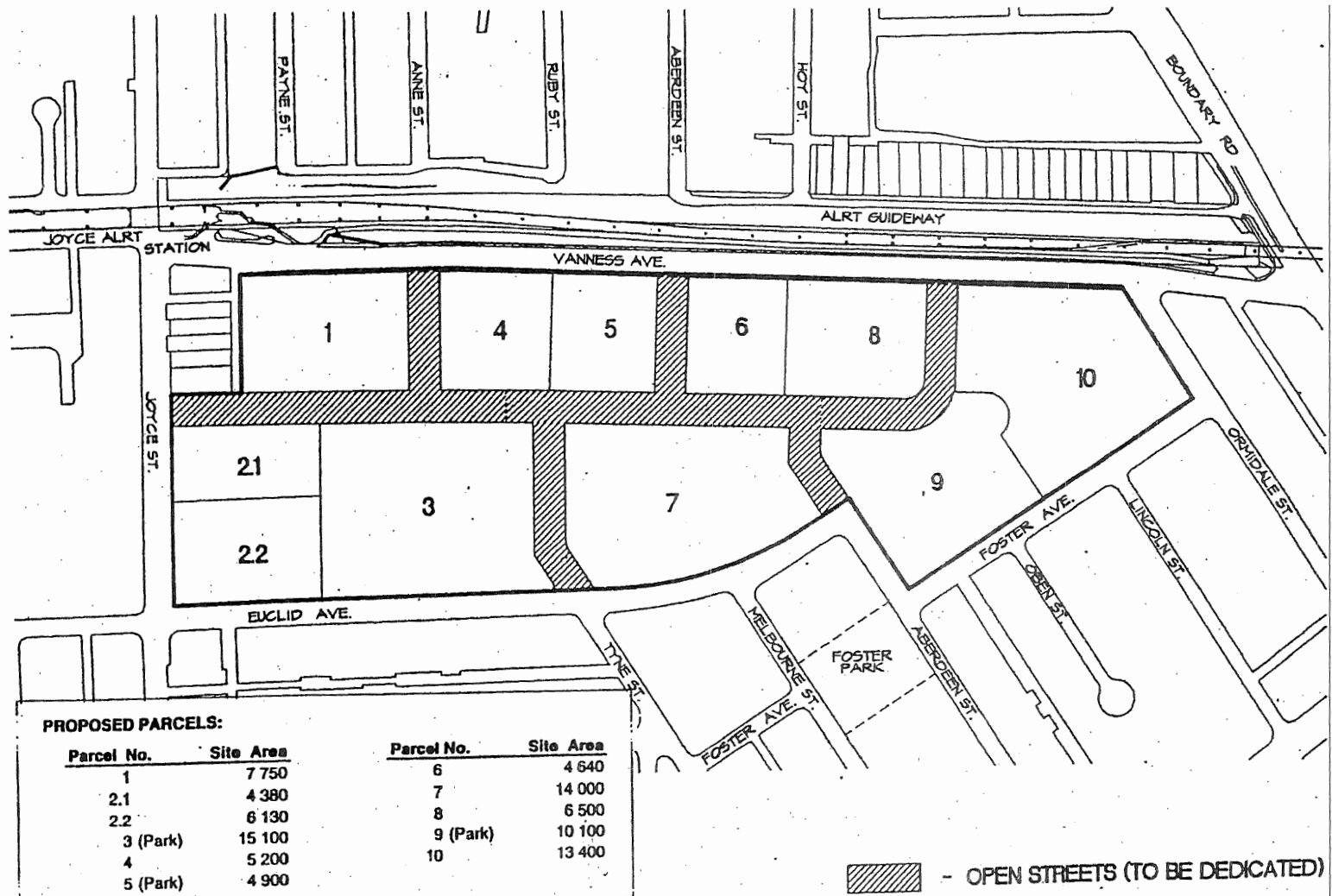


FIGURE 4 - SUB AREAS PLAN



• all areas stated, are approximate (subject to final subdivision approval) and are in square metres.

FIGURE 5 - PARCEL BOUNDARIES AND AREAS - PROPOSED

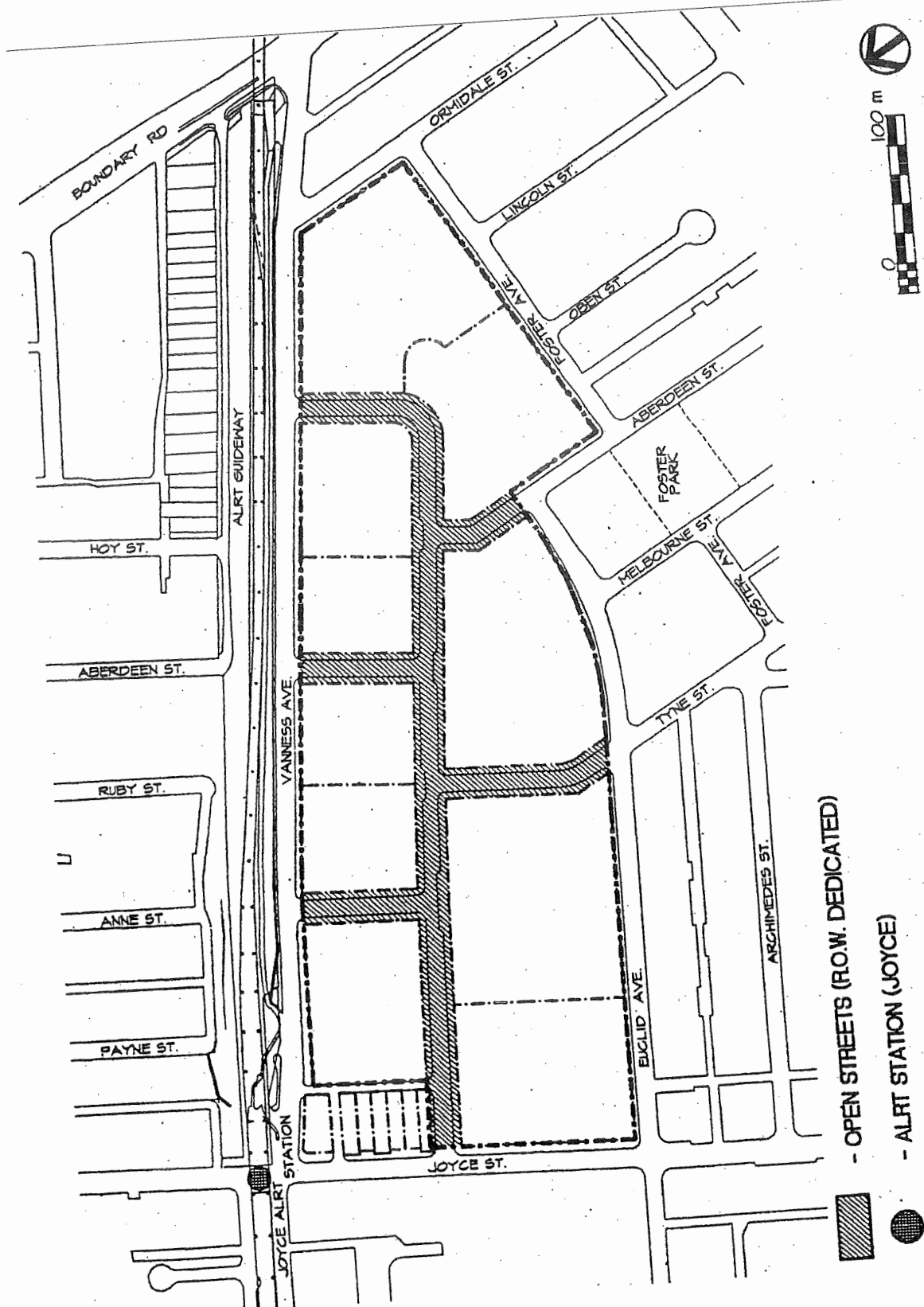


FIGURE 6 - STREETS PLAN

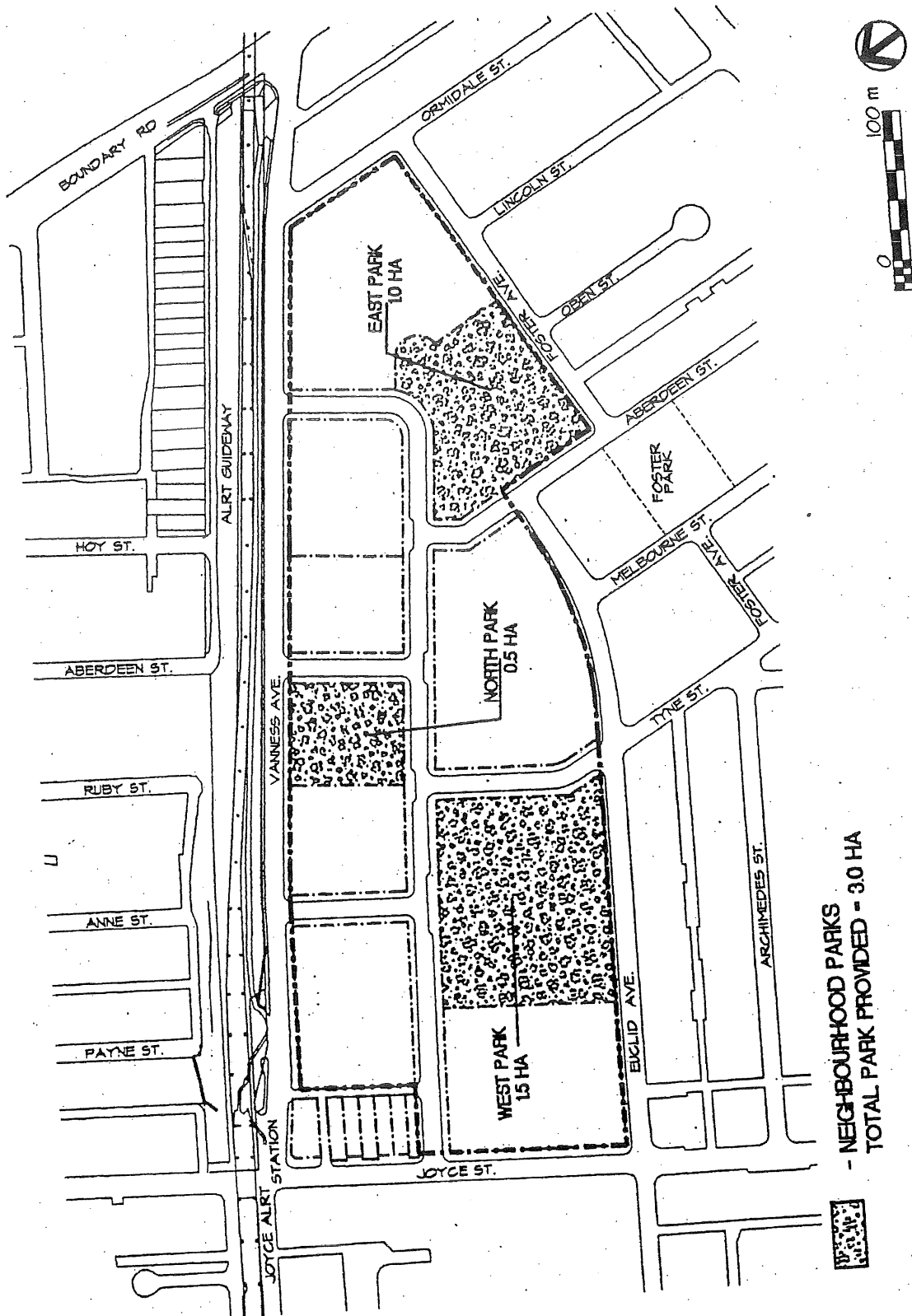


FIGURE 7 - PARKS PLAN

